

DOCUMENT 00 90 00
ADDENDUM

ADDENDUM No.: 1

DATE: July 8, 2025

RE: PARK VIEW MANOR – PARKING RENOVATION
VIROQUA HOUSING AUTHORITY
200 PARK VIEW COURT
VIROQUA, WIS. 54665

PROJECT No.: 24012-1

FROM: HSR Associates, Inc
100 Milwaukee Street
La Crosse, WI 54603
(608) 784-1830

TO: Prospective Bidders

This addendum forms a part of the Contract Documents and modifies the original Bidding Documents dated June 2025. Acknowledge receipt of this Addendum in the space provided on the bid form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of: 1 page, 0 documents, 0 sections, and 5 drawings.

CHANGES TO DRAWINGS

1. Sheet C100 DEMOLITION PLAN 30"x42"
 - a. See the revised sheet included in this addendum. Disregard the previous version.
 - b. Revised sheet to include removal of existing handrail on south end of parking.
2. Sheet C200 LAYOUT PLAN 30"x42"
 - a. See the revised sheet included in this addendum. Disregard the previous version.
 - b. New decorative handrail west of parking lot.
3. Sheet C300 GRADING PLAN 30"x42"
 - a. See the revised sheet included in this addendum. Disregard the previous version.
 - b. Added concrete around storm outlet on north end of site.
4. Sheet C500 UTILITY PLAN 30"x42"
 - a. See the revised sheet included in this addendum. Disregard the previous version.
 - b. Added concrete around storm outlet on north end of site.
5. Sheet C600 CONSTRUCTION DETAILS 30"x42"
 - a. See the revised sheet included in this addendum. Disregard the previous version.
 - b. Revised Detail 6C600.

END OF DOCUMENT 00 90 00

GENERAL NOTES:

- CONTRACTOR SHALL LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO COMMENCEMENT OF WORK.
- ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER EXCEPT FOR THOSE ITEMS NOTED TO BE SALVAGED, WHICH SHOULD BE TURNED OVER TO THE OWNER.
- INSTALL AND MAINTAIN ALL REQUIRED EROSION CONTROL MEASURES FOR PERIMETER PROTECTION PRIOR TO THE START OF DEMOLITION/CONSTRUCTION, IN ACCORDANCE WITH THE LOCAL AND STATE GOVERNING AUTHORITIES.
- BIDDERS SHALL VISIT THE SITE AND REVIEW EXISTING CONDITIONS PRIOR TO THE BID DATE.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED, AND/OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR.
- COORDINATE ALL UTILITY REMOVAL, DISCONNECTION, &/OR RECONNECTION WITH RESPECTIVE UTILITY COMPANIES PRIOR TO BEGINNING WORK.
- COORDINATE UTILITY SERVICE DISCONNECTIONS/OUTAGES WITH OWNER AND ANY IMPACTED NEIGHBORS. MINIMIZE DISRUPTIONS TO THE MAXIMUM EXTENT PRACTICAL.
- ANY EXISTING UTILITIES NOT EXPRESSLY LABELED FOR DEMOLITION/REMOVAL ON THIS DOCUMENT SHALL BE LEFT IN PLACE AND IN THEIR CURRENT STATE OF OPERATION. CONTACT ENGINEER WHEREVER CLARIFICATION IS NEEDED.
- STRIP TOPSOIL WITHIN THE PROJECT LIMITS IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS.
- IF STRIPPED TOPSOIL IS STOCKPILED ON SITE, SILT FENCE SHALL BE INSTALLED AROUND THE BASE OF THE STOCKPILE TO PREVENT SEDIMENT TRANSPORT.
- PRIOR TO PERFORMING WORK WITHIN PUBLIC RIGHT OF WAYS, NOTIFY AND COORDINATE WORK WITH THE LOCAL MUNICIPALITY.
- MAINTAIN TRAFFIC CIRCULATION TO ALL NEIGHBORING PROPERTIES SHOWN ON THIS DOCUMENT. COORDINATE ALL WORK WITH NEIGHBORING PROPERTY OWNERS.
- MAINTAIN TEMPORARY ACCESS TO ONE OR MORE OF THE EAST SIDE BUILDING ENTRANCES DURING CONSTRUCTION

KEYNOTES:

- SAWCUT EXISTING CONCRETE CURBING
- REMOVE EXISTING CONCRETE CURBING
- SAWCUT EXISTING BITUMINOUS PAVEMENT
- SAWCUT EXISTING CONCRETE WALK
- MAINTAIN EXISTING CONCRETE WALK
- MAINTAIN EXISTING CONCRETE CURBING
- MAINTAIN EXISTING TREE/VEGETATION
- CLEAR & GRUB EXISTING TREE
- MAINTAIN EXISTING STORM SEWER STRUCTURE
- MAINTAIN EXISTING STORM SEWER PIPE
- REMOVE EXISTING HANDRAIL
- REMOVE EXISTING RETAINING WALL
- MAINTAIN EXISTING LANDSCAPE AREA: TREES, SHRUBS, MULCH AND FILTER FABRIC- VERIFY WITH LANDSCAPE PLAN
- REMOVE EXISTING LANDSCAPE AREA: SHRUBS, MULCH AND FILTER FABRIC
- REMOVE EXISTING POWER/LIGHT POLE
- MAINTAIN EXISTING TRANSFORMER BOX
- REMOVE/ABANDON EXISTING ELECTRICAL LINE AS REQUIRED
- REMOVE EXISTING ELECTRICAL LINE
- MAINTAIN EXISTING TELEPHONE LINE
- MAINTAIN EXISTING GAS LINE
- REMOVE EXPOSED ROCK
- SALVAGE AND REINSTALL SIGN
- REMOVE EXISTING METAL RAIL ON CONCRETE RETAINING WALL

DEMOLITION HATCH PATTERNS:

BITUMINOUS REMOVAL	
CONCRETE REMOVAL	

CIVIL SHEET INDEX:

C100	DEMOLITION PLAN
C200	LAYOUT PLAN
C300	GRADING PLAN
C400	EROSION CONTROL PLAN
C500	UTILITY PLAN
C600	DETAILS
C601	DETAILS
L100	LANDSCAPE PLAN

BENCHMARK:

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

BENCHMARK #1
BURY BOLT ON HYDRANT,
LOCATED APPROXIMATELY 75 FEET WEST OF THE WEST
RIGHT-OF-WAY LINE OF WEST JEFFERSON STREET.
ELEVATION = 1250.77

BENCHMARK #2
604 SPIKE ON SOUTH SIDE OF POWER POLE,
LOCATED ON THE NORTH SIDE OF WEST JEFFERSON
STREET, APPROXIMATELY 165 FEET WEST OF THE
INTERSECTION OF WEST JEFFERSON STREET AND
SOUTH ROCK AVENUE.
ELEVATION = 1276.51

BENCHMARK #3
BURY BOLT ON HYDRANT,
LOCATED AT THE SOUTHWEST QUADRANT OF THE
INTERSECTION OF WEST JEFFERSON STREET AND
SOUTH ROCK AVENUE.
ELEVATION = 1286.43

UTILITY DISCLAIMER:

THE LOCATIONS, SIZES, AND TYPES OF UNDERGROUND PUBLIC AND PRIVATE UTILITIES OR SUBSTRUCTURES SHOWN HEREON WERE OBTAINED FROM VISUAL INSPECTION, FIELD MEASUREMENTS, AND/OR AS-BUILT PLANS. SANITARY SEWER AND STORM SEWER PIPE SIZES, INVERTS, DIRECTION, AND LOCATIONS BETWEEN MANHOLES ARE SUPPLEMENTED BY AS-BUILT PLANS AND/OR ESTIMATED BASED ON FIELD OBSERVATIONS. PRIOR TO CONSTRUCTION IN THE VICINITY OF ANY UTILITIES SHOWN HEREON, IT IS RECOMMENDED THAT THE LOCATIONS, DEPTHS, AND SIZES BE FIELD VERIFIED. THE LOCATIONS SHOWN HEREON ARE ONLY APPROXIMATE, WITH POSSIBILITY THAT ADDITIONAL UTILITY LINES NOT DISCOVERED, OR MARKED, DURING THE SEARCH OF RECORDS AND THE FIELD SURVEY MAY EXIST. ANY CONTRACTOR USING THE INFORMATION SHOWN HEREON IS HEREBY FOREWARNED THAT ANY EXCAVATION UPON THIS SITE MAY RESULT IN THE DISCOVERY OF ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN HEREON. IN GENERAL, UNDERGROUND UTILITY LOCATIONS ARE SHOWN FROM UTILITY MARKINGS, BY OTHERS, AND/OR AS-BUILT PLANS, PROVIDED BY OTHERS. POINT OF BEGINNING MAKES NO WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, WITH RESPECT TO THE EXISTING UTILITIES SHOWN HEREON AND BELIEVES THAT THE INFORMATION CONTAINED HEREIN IS RELIABLE AND GENERALLY ACCURATE FOR THE PURPOSE INTENDED.



HSR ASSOCIATES INC.
100 MILWAUKEE STREET
LA CROSSE, WISCONSIN
PHONE: 608.784.1830
FAX: 608.782.5844
www.hsrassociates.com

Consultant:
**P
O
B**
Point of Beginning
Civil Engineering
Land Surveying
Landscape Architecture
4941 Knochling Court
Stevens Point, WI 54481
715.344.9999 (Ph) 715.344.9922 (Fax)

VIROQUA HOUSING AUTHORITY
PARK VIEW MANOR - PARKING RENOVATION
LAYOUT PLAN
Project Title:
HSR Project Number:
24012-1
Project Date:
JUNE 17, 2025
Drawn By:
MAJ
Key Plan:
Project Location:
200 PARK VIEW CT
VIROQUA, WI 54665
Sheet Title:

Revisions:		
No.	Description	Date
1	ADDENDUM #01	7/7/25
Graphic Scale:		
SEE DRAWING		
Last Update:		
6/6/2025		
C200		

GENERAL NOTES:

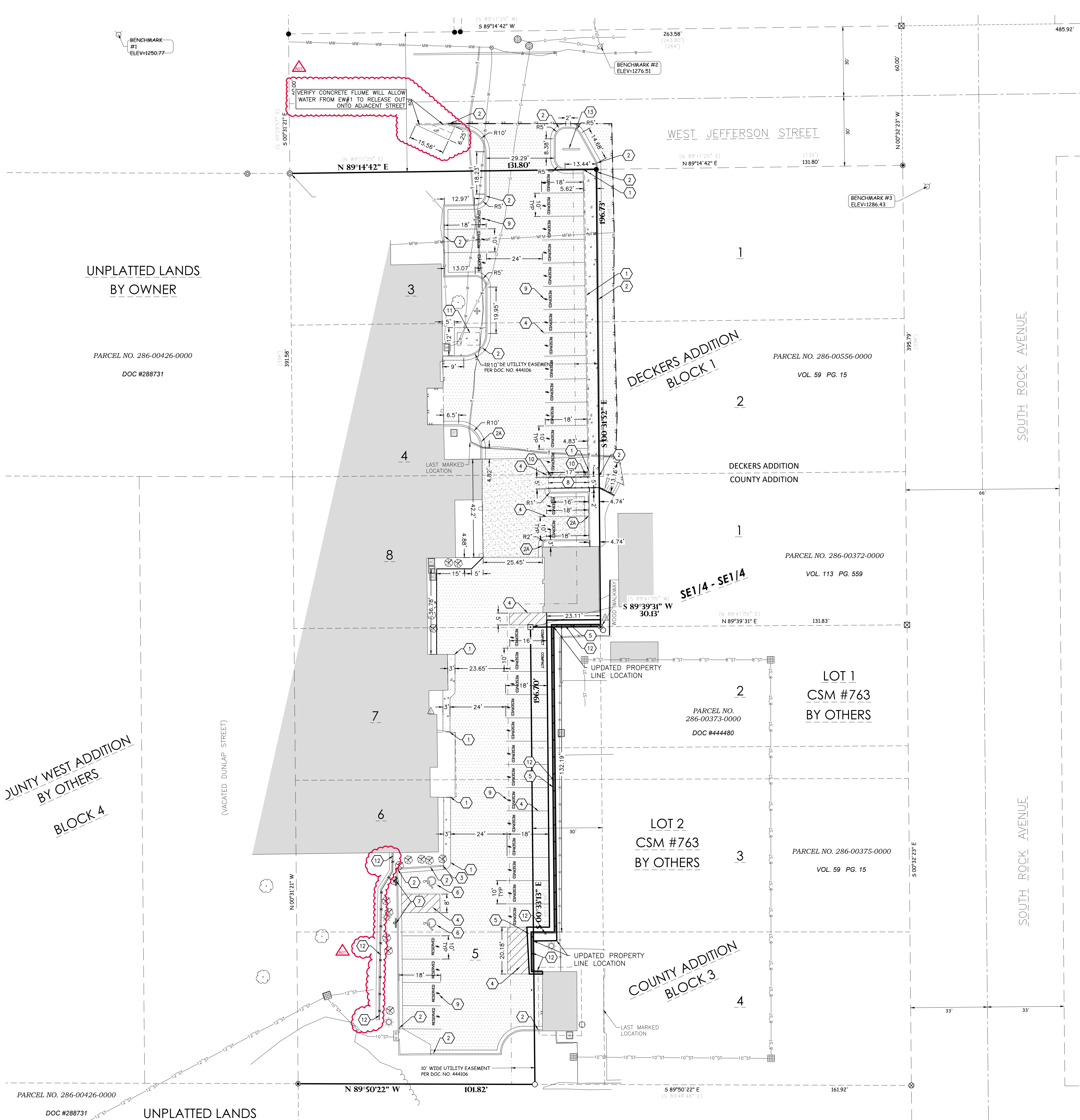
- CONTRACTOR SHALL LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO COMMENCEMENT OF WORK.
- GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
- ALL REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH LOCAL MUNICIPAL AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
- SEE SHEET C400 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR.
- VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- BIDDERS SHALL VISIT THE SITE AND REVIEW EXISTING CONDITIONS PRIOR TO THE BID DATE.
- PRIOR TO STARTING WORK, VERIFY WITH THE LOCAL AUTHORITIES THAT ALL REQUIRED PERMITS HAVE BEEN ACQUIRED.
- COORDINATE CONSTRUCTION IN THE RIGHT OF WAY WITH THE LOCAL AUTHORITIES.
- PROVIDE PROPER BARRICADES, SIGNS, AND TRAFFIC CONTROL TO MAINTAIN THRU TRAFFIC ALONG ADJACENT STREETS IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS.
- SIDEWALK JOINTS SHALL BE INSTALLED AS INDICATED OR AS APPROVED BY THE CONSTRUCTION MANAGER.
- ALL GENERAL LANDSCAPE AREAS SHALL BE SEEDED, FERTILIZED, AND CRIMP HAY MULCHED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- MAINTAIN TEMPORARY ACCESS TO ONE OR MORE OF THE EAST SIDE BUILDING ENTRANCES DURING CONSTRUCTION.

KEYNOTES:

- THICKENED EDGE WALK
- STANDARD CONCRETE CURB & GUTTER
2A. REVERSE CONCRETE CURB & GUTTER
- 6" CURB TAPER SECTION
- PARKING LOT STRIPING
- CMU GRAVITY RETAINING WALL
- ADA PARKING STALL
- ADA PARKING SIGN
- PEDESTRIAN RAMP W/ HANDRAIL
- PAINT "RESERVED #" ON EACH PARKING STALL. COORDINATE NUMBERING & LOCATION WITH OWNER PRIOR TO WORK BEGINNING
STAFF VS. VISITOR PARKING TO ALSO BE COORDINATED WITH OWNER PRIOR TO WORK BEGINNING
- CONCRETE BOLLARD
- MOBILE BIKE RACK BY OWNER
- DECORATIVE METAL FENCE AT PROPERTY LINE
MANUFACTURER: AMERISTAR
TYPE: ECHELON II
HEIGHT: 5'-0"
COLOR: BLACK
STYLE: MAJESTIC
SOURCE: <https://www.ameristarperimeter.com>
INSTALL PER MANUFACTURERS SPECIFICATIONS
INSTALL BEHIND RETAINING WALLS AS SHOWN ON PLAN
- RELOCATED SIGN. COORDINATE WITH OWNER

PAVEMENT HATCH PATTERNS:

- | | | |
|---------------------------------------|--|-----------|
| PROPOSED STANDARD ASPHALT PAVEMENT | | 1
C600 |
| PROPOSED STANDARD CONCRETE PAVEMENT | | 2
C600 |
| PROPOSED REINFORCED CONCRETE PAVEMENT | | 2
C600 |



BENCHMARK:

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

BENCHMARK #1
BURY BOLT ON HYDRANT,
LOCATED APPROXIMATELY 75 FEET WEST OF THE WEST
RIGHT-OF-WAY LINE OF WEST JEFFERSON STREET.
ELEVATION = 1250.77

BENCHMARK #2
604 SPIKE ON SOUTH SIDE OF POWER POLE,
LOCATED ON THE NORTH SIDE OF WEST JEFFERSON
STREET, APPROXIMATELY 165 FEET WEST OF THE
INTERSECTION OF WEST JEFFERSON STREET AND
SOUTH ROCK AVENUE.
ELEVATION = 1276.51

BENCHMARK #3
BURY BOLT ON HYDRANT,
LOCATED AT THE SOUTHWEST QUADRANT OF THE
INTERSECTION OF WEST JEFFERSON STREET AND
SOUTH ROCK AVENUE.
ELEVATION = 1286.43

UTILITY DISCLAIMER:

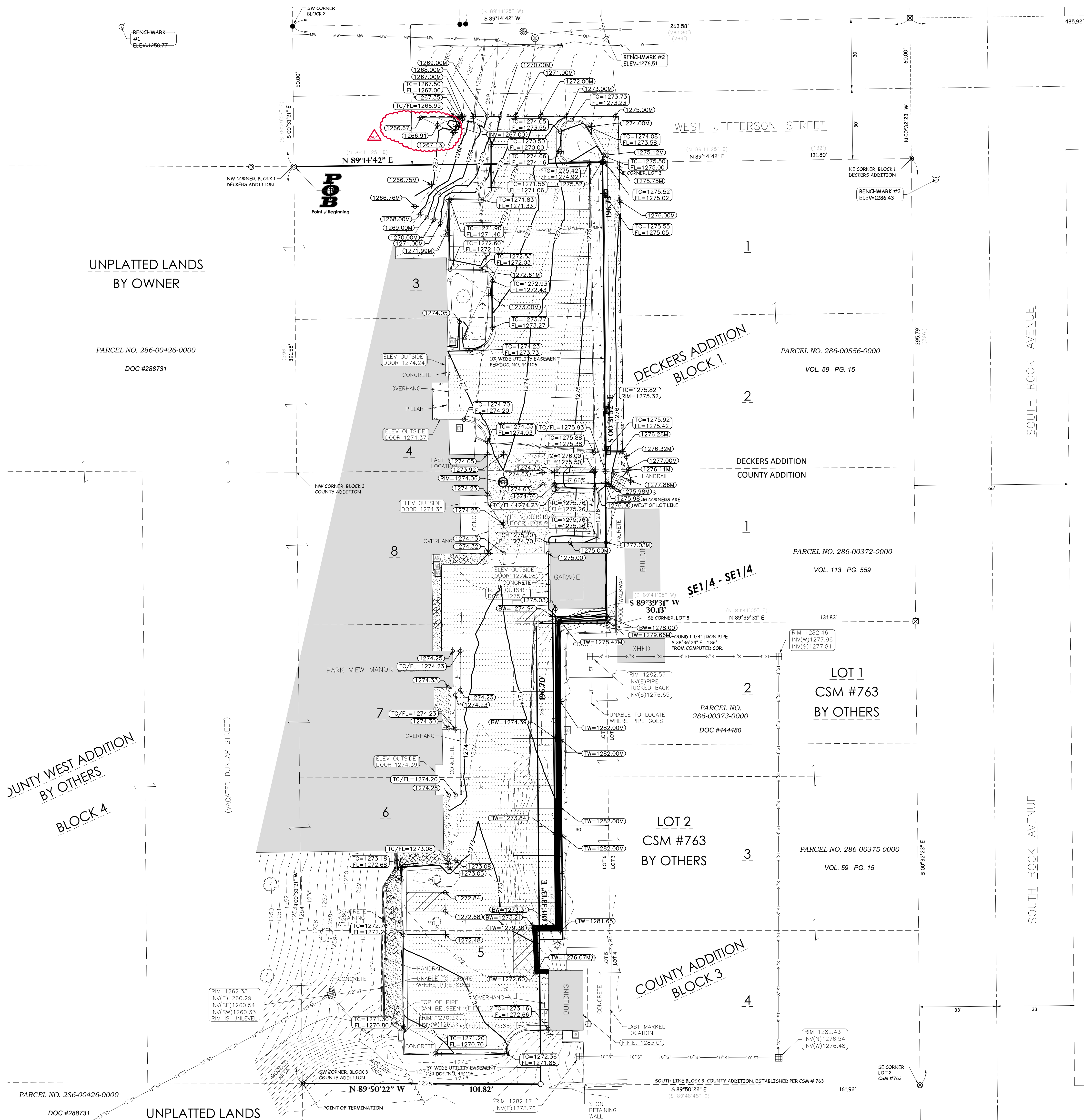
THE LOCATIONS, SIZES, AND TYPES OF UNDERGROUND PUBLIC AND PRIVATE UTILITIES OR SUBSTRUCTURES SHOWN HEREON WERE OBTAINED FROM VISUAL INSPECTION, FIELD MEASUREMENTS, AND/OR AS-BUILT PLANS. SANITARY SEWER AND STORM SEWER PIPE SIZES, INVERTS, DIRECTION, AND LOCATIONS BETWEEN MANHOLES ARE SUPPLEMENTED BY AS-BUILT PLANS AND/OR ESTIMATED BASED ON FIELD OBSERVATIONS. PRIOR TO CONSTRUCTION IN THE VICINITY OF ANY UTILITIES SHOWN HEREON, IT IS RECOMMENDED THAT THE LOCATIONS, DEPTHS, AND SIZES BE FIELD VERIFIED. THE LOCATIONS SHOWN HEREON ARE ONLY APPROXIMATE, WITH POSSIBILITY THAT ADDITIONAL UTILITY LINES NOT DISCOVERED, OR MARKED, DURING THE SEARCH OF RECORDS AND THE FIELD SURVEY MAY EXIST. ANY CONTRACTOR USING THE INFORMATION SHOWN HEREON IS HEREBY FOREWARNED THAT ANY EXCAVATION UPON THIS SITE MAY RESULT IN THE DISCOVERY OF ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN HEREON. IN GENERAL, UNDERGROUND UTILITY LOCATIONS ARE SHOWN FROM UTILITY MARKINGS, BY OTHERS, AND/OR AS-BUILT PLANS, PROVIDED BY OTHERS. POINT OF BEGINNING MAKES NO WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, WITH RESPECT TO THE EXISTING UTILITIES SHOWN HEREON AND BELIEVES THAT THE INFORMATION CONTAINED HEREIN IS RELIABLE AND GENERALLY ACCURATE FOR THE PURPOSE INTENDED.

GENERAL NOTES:

- CONTRACTOR SHALL LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO COMMENCEMENT OF WORK.
- THE PROPOSED SITE PLAN FINISH FLOOR ELEVATION OF 1275.00 EQUALS THE PROPOSED BUILDING ARCHITECTURAL FINISH FLOOR ELEVATION OF 100.00'.
- GRADE, LINE, AND LEVEL SHALL BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
- INSTALL AND MAINTAIN ALL REQUIRED EROSION CONTROL MEASURES IN ACCORDANCE WITH LOCAL MUNICIPAL AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
- 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LAWN AREAS AND 12" SHALL BE PROVIDED IN ALL PLANTING BED AREAS.
- SEE SHEET C400 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED, AND/OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR.
- COORDINATE ALL EARTHWORK ACTIVITIES WITH THE RESPECTIVE TRADES RESPONSIBLE FOR THE INSTALLATION OF GAS, CABLE, TELEPHONE AND ELECTRICAL (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE).
- PROVIDE RIP RAP AT ALL CULVERT OUTFLOW ENDWALL STRUCTURES TO PREVENT WASHOUT AND EROSION.
- INSTALL W/DOOT TYPE HR FILTER FABRIC BENEATH ALL RIP RAP.
- EXCESS TOPSOIL SHALL BE REMOVED FROM SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER. COORDINATE WITH OWNER FOR LOCATION OF STOCKPILE IF THE OWNER CHOOSES TO SALVAGE EXCESS TOPSOIL FOR FUTURE USE. SILT FENCE SHALL BE PLACED AROUND STOCKPILE.
- THE LOCAL MUNICIPALITY SHALL BE CONTACTED PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL HAVE A TRAFFIC CONTROL PLAN APPROVED PRIOR TO WORK COMMENCING.
- THE LOCAL MUNICIPALITY SHALL OPERATE ALL EXISTING WATER VALVES IF NEEDED.
- GRADES AT BUILDING EDGE SHALL BE 6" BELOW FINISHED FLOOR ELEVATION EXCEPT AT DOOR WAY ENTRANCES OR UNLESS OTHERWISE NOTED.
- MAINTAIN TEMPORARY ACCESS TO ONE OR MORE OF THE EAST SIDE BUILDING ENTRANCES DURING CONSTRUCTION.

GRADING LEGEND:

EXISTING CONTOUR	---
PROPOSED CONTOUR	---
PROPOSED SPOT ELEVATION	CS2.70
PROPOSED ENDWALL INVERT ELEVATION	INV=892.00
PROPOSED RIM ELEVATION	RIM=893.50
PROPOSED TOP OF CURB ELEVATION	TC=893.50
PROPOSED FLOW LINE ELEVATION	FL=893.50
PROPOSED TOP OF WALL ELEVATION	TW=893.50
PROPOSED BOTTOM OF WALL ELEVATION	BW=893.50
PROPOSED MATCH ELEVATION (CONTRACTOR TO VERIFY)	892.00M
PROPOSED ENDWALL STRUCTURE WITH RIP RAP	9
PROPOSED STORM SEWER CURB INLET	10



BENCHMARK:

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

BENCHMARK #1
BURY BOLT ON HYDRANT,
LOCATED APPROXIMATELY 75 FEET WEST OF THE WEST
RIGHT-OF-WAY LINE OF WEST JEFFERSON STREET.
ELEVATION = 1250.77

BENCHMARK #2
60\"/>

BENCHMARK #3
BURY BOLT ON HYDRANT,
LOCATED AT THE SOUTHWEST QUADRANT OF THE
INTERSECTION OF WEST JEFFERSON STREET AND
SOUTH ROCK AVENUE.
ELEVATION = 1286.43

UTILITY DISCLAIMER:

THE LOCATIONS, SIZES, AND TYPES OF UNDERGROUND PUBLIC AND PRIVATE UTILITIES OR SUBSTRUCTURES SHOWN HEREON WERE OBTAINED FROM VISUAL INSPECTION, FIELD MEASUREMENTS, AND/OR AS-BUILT PLANS. SANITARY SEWER AND STORM SEWER PIPE SIZES, INVERTS, DIRECTION, AND LOCATIONS BETWEEN MANHOLES ARE SUPPLEMENTED BY AS-BUILT PLANS AND/OR ESTIMATED BASED ON FIELD OBSERVATIONS. PRIOR TO CONSTRUCTION IN THE VICINITY OF ANY UTILITIES SHOWN HEREON, IT IS RECOMMENDED THAT THE LOCATIONS, DEPTHS, AND SIZES BE FIELD VERIFIED. THE LOCATIONS SHOWN HEREON ARE ONLY APPROXIMATE, WITH POSSIBILITY THAT ADDITIONAL UTILITY LINES NOT DISCOVERED, OR MARKED, DURING THE SEARCH OF RECORDS AND THE FIELD SURVEY MAY EXIST. ANY CONTRACTOR USING THE INFORMATION SHOWN HEREON IS HEREBY FOREWARNED THAT ANY EXCAVATION UPON THIS SITE MAY RESULT IN THE DISCOVERY OF ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN HEREON. IN GENERAL, UNDERGROUND UTILITY LOCATIONS ARE SHOWN FROM UTILITY MARKINGS, BY OTHERS, AND/OR AS-BUILT PLANS, PROVIDED BY OTHERS. POINT OF BEGINNING MAKES NO WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, WITH RESPECT TO THE EXISTING UTILITIES SHOWN HEREON AND BELIEVES THAT THE INFORMATION CONTAINED HEREIN IS RELIABLE AND GENERALLY ACCURATE FOR THE PURPOSE INTENDED.

GENERAL NOTES:

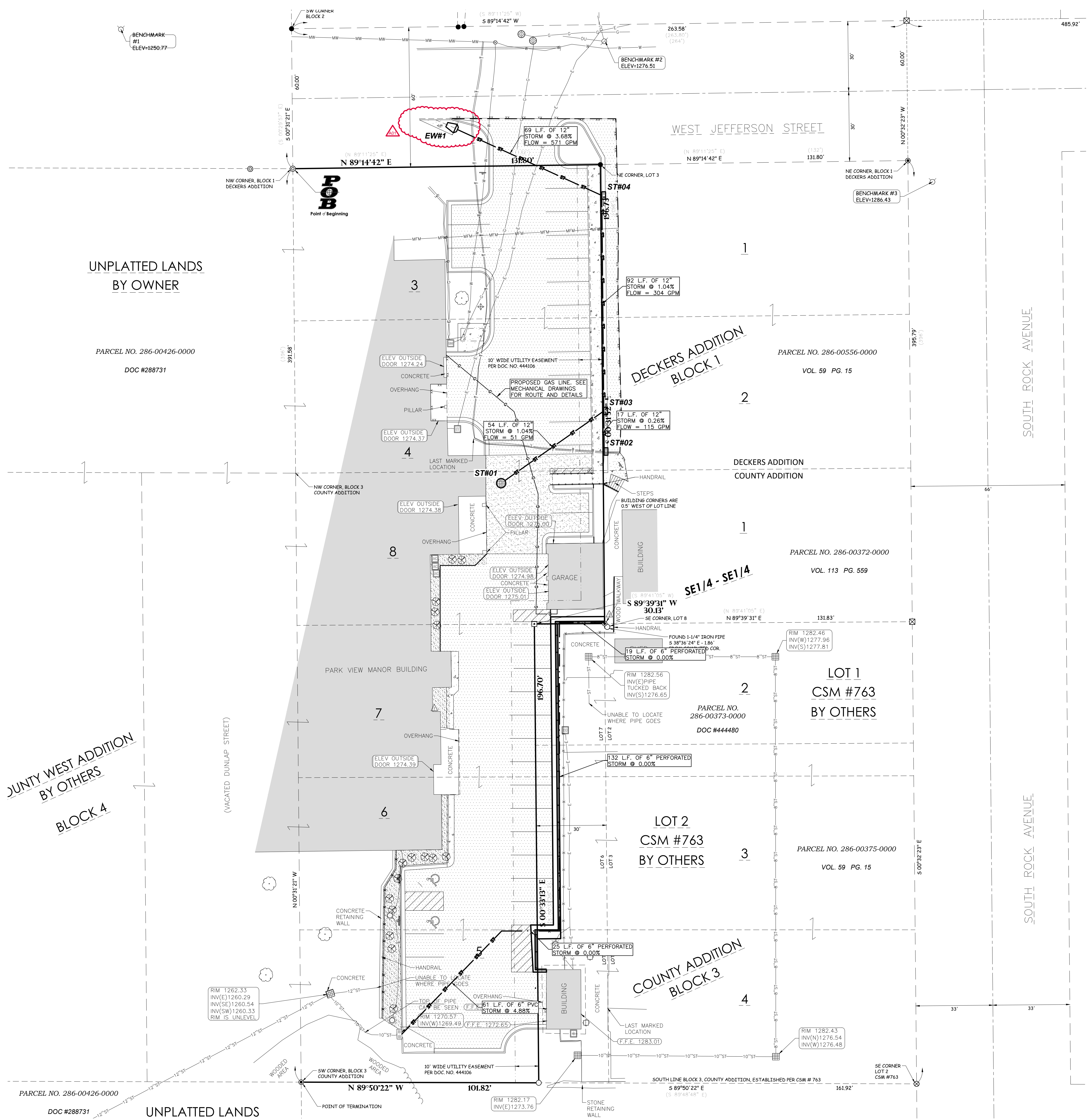
- CONTRACTOR SHALL LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO COMMENCEMENT OF WORK.
- GRADE, LINE, AND LEVEL SHALL BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR.
- REFER TO THE PROPOSED BUILDING MECHANICAL/PLUMBING PLANS TO VERIFY EXACT CONNECTION LOCATIONS AND SIZES OF PROPOSED SANITARY SEWER AND WATER LATERALS.
- COORDINATE ALL UTILITY WORK WITH THE RESPECTIVE TRADES RESPONSIBLE FOR THE INSTALLATION OF GAS, CABLE, TELEPHONE AND ELECTRICAL (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE).
- COORDINATE UTILITY SERVICE DISCONNECTIONS/OUTAGES WITH OWNER AND ANY IMPACTED NEIGHBORS. MINIMIZE DISRUPTIONS TO THE MAXIMUM EXTENT PRACTICAL.
- COORDINATE ALL WORK WITHIN THE PUBLIC RIGHT OF WAY WITH THE LOCAL MUNICIPALITY.
- ALL TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH SPS 382.21.
- THE PROPOSED WATER MAIN SHALL HAVE A MINIMUM COVER OF 7'-6" TO THE TOP OF PIPE FROM PROPOSED FINISHED GRADE. SEE SHEET C300 FOR PROPOSED FINISHED GRADE.
- THE MUNICIPALITY SHALL BE CONTACTED PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY, AND PRIOR TO CONNECTING SANITARY SEWER AND WATER LATERALS TO THE PUBLIC MAINS.
- THE CONTRACTOR SHALL HAVE A TRAFFIC CONTROL PLAN APPROVED PRIOR TO WORK COMMENCING.
- THE MUNICIPALITY SHALL OPERATE ALL EXISTING WATER VALVES, IF NEEDED.
- FIELD VERIFY INVERT ELEVATION OF THE SANITARY SEWER AND WATER PUBLIC MAIN, AT THE LOCATION OF THE SERVICE LATERAL CONNECTIONS, PRIOR TO CONNECTING THE LATERALS TO THE PUBLIC MAIN.
- PROVIDE RIP RAP AT ALL STORM ENDWALLS TO PREVENT WASHOUT AND EROSION.
- INSTALL WISDOT TYPE HR FILTER FABRIC BENEATH PROPOSED RIP RAP.

UTILITY LEGEND:

- PROPOSED STORM SEWER ST
- PROPOSED SANITARY SEWER SS
- PROPOSED WATER MAIN W
- PROPOSED ENDWALL STRUCTURE WITHOUT RIP RAP
- PROPOSED STORM SEWER CURB INLET

STORM MANHOLE SCHEDULE:

STRUCTURE #	STRUCTURE DETAILS
ST#01	RIM = 1274.06 INV (NE) = 1271.06 DEPTH = 3.00' 36" I.D. PRECAST MANHOLE W/NEENAH R-2558 CASTING W/TYPE "G" GRATE
ST#02	RIM = 1273.32 INV (N) = 1270.55 DEPTH = 2.77' Neenah R-3501-TR Grate or Similar
ST#03	RIM = 1275.32 INV (SW) = 1270.50 INV (S) = 1270.50 INV (N) = 1270.50 DEPTH = 4.82' Neenah R-3501-TR Grate or Similar
ST#04	RIM = 1275.05 INV (S) = 1269.54 INV (NW) = 1269.54 DEPTH = 5.00' Neenah R-3501-TR Grate or Similar



BENCHMARK:

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

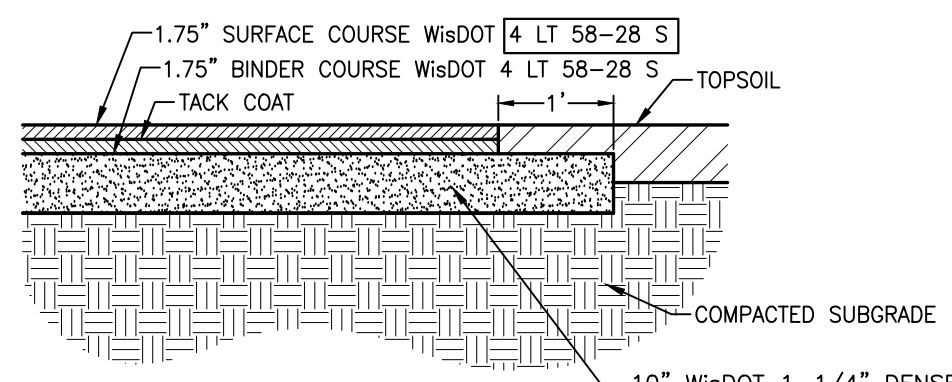
BENCHMARK #1
BURY BOLT ON HYDRANT,
LOCATED APPROXIMATELY 75 FEET WEST OF THE WEST
RIGHT-OF-WAY LINE OF WEST JEFFERSON STREET.
ELEVATION = 1250.77

BENCHMARK #2
60# SPIKE ON SOUTH SIDE OF POWER POLE,
LOCATED ON THE NORTH SIDE OF WEST JEFFERSON
STREET, APPROXIMATELY 165 FEET WEST OF THE
INTERSECTION OF WEST JEFFERSON STREET AND
SOUTH ROCK AVENUE.
ELEVATION = 1276.51

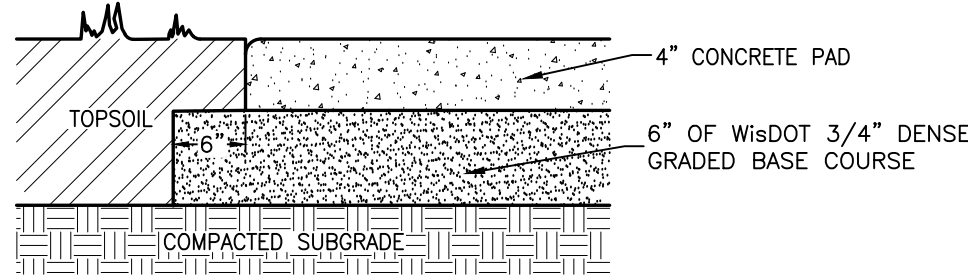
BENCHMARK #3
BURY BOLT ON HYDRANT,
LOCATED AT THE SOUTHWEST QUADRANT OF THE
INTERSECTION OF WEST JEFFERSON STREET AND
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ELEVATION = 1286.43

UTILITY DISCLAIMER:

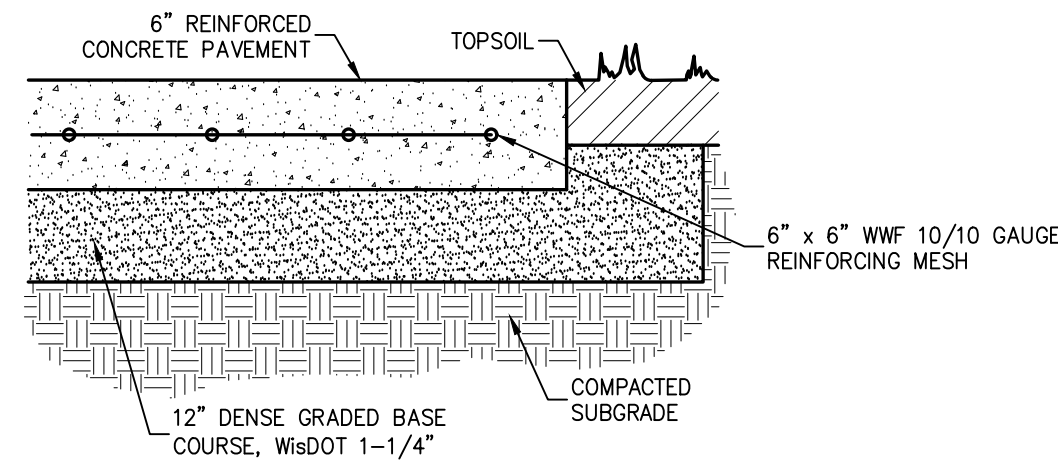
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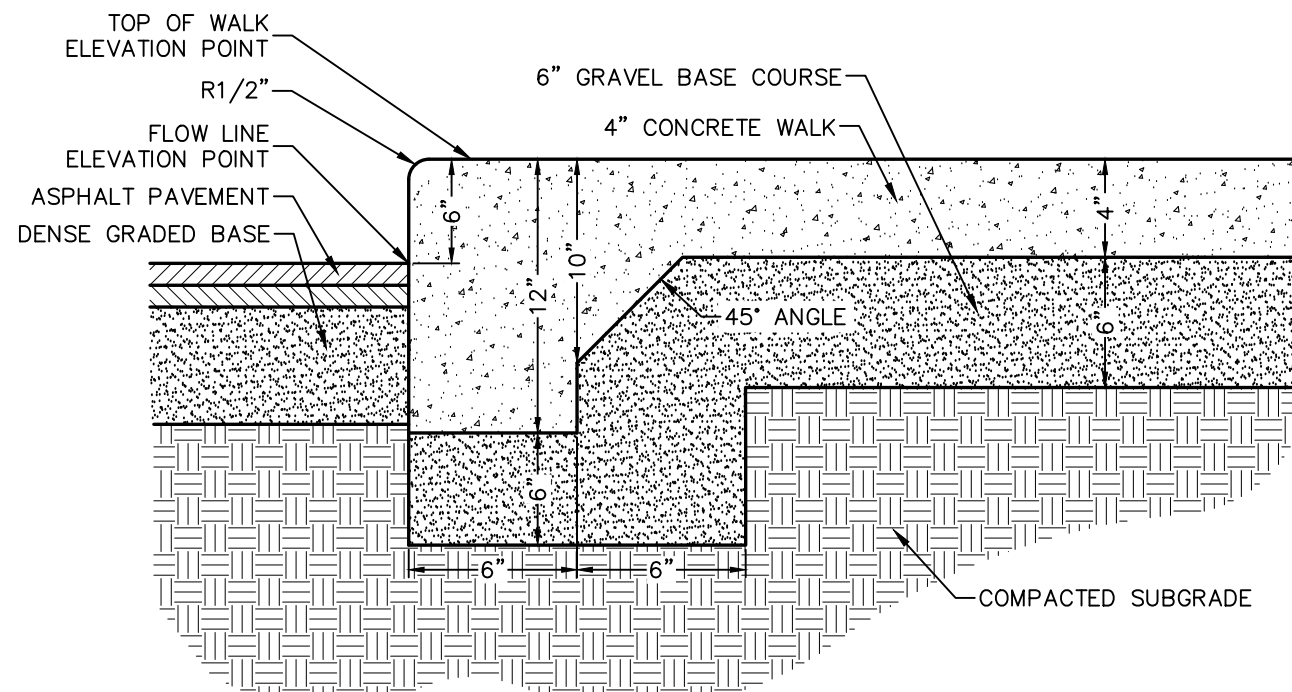
ASPHALT PAVEMENT



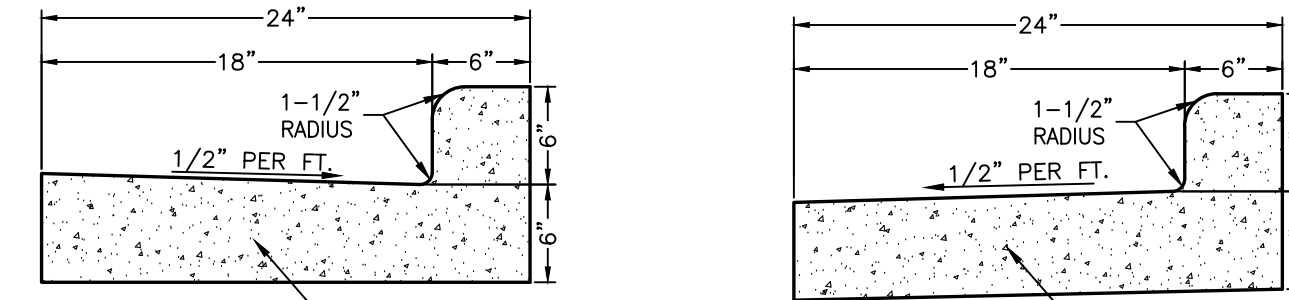
CONCRETE PAVEMENT



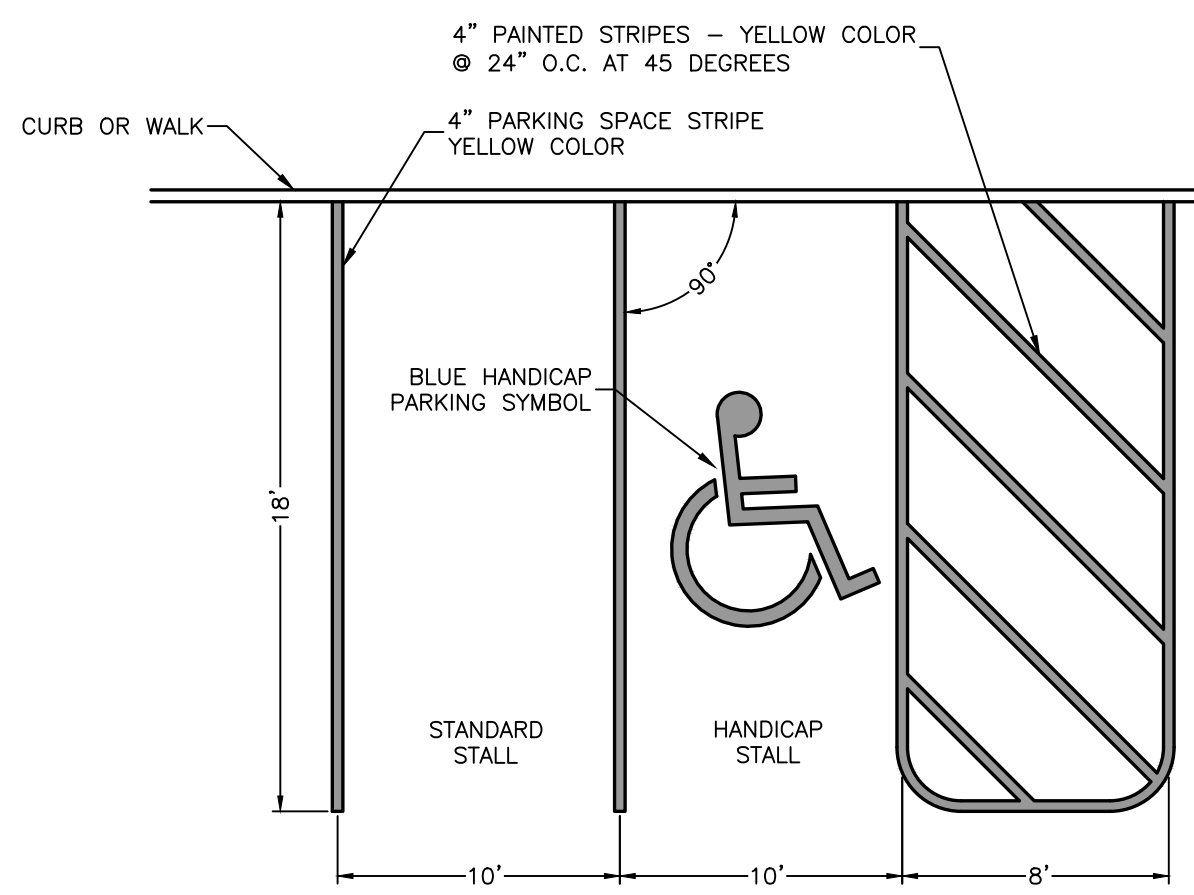
REINFORCED CONCRETE



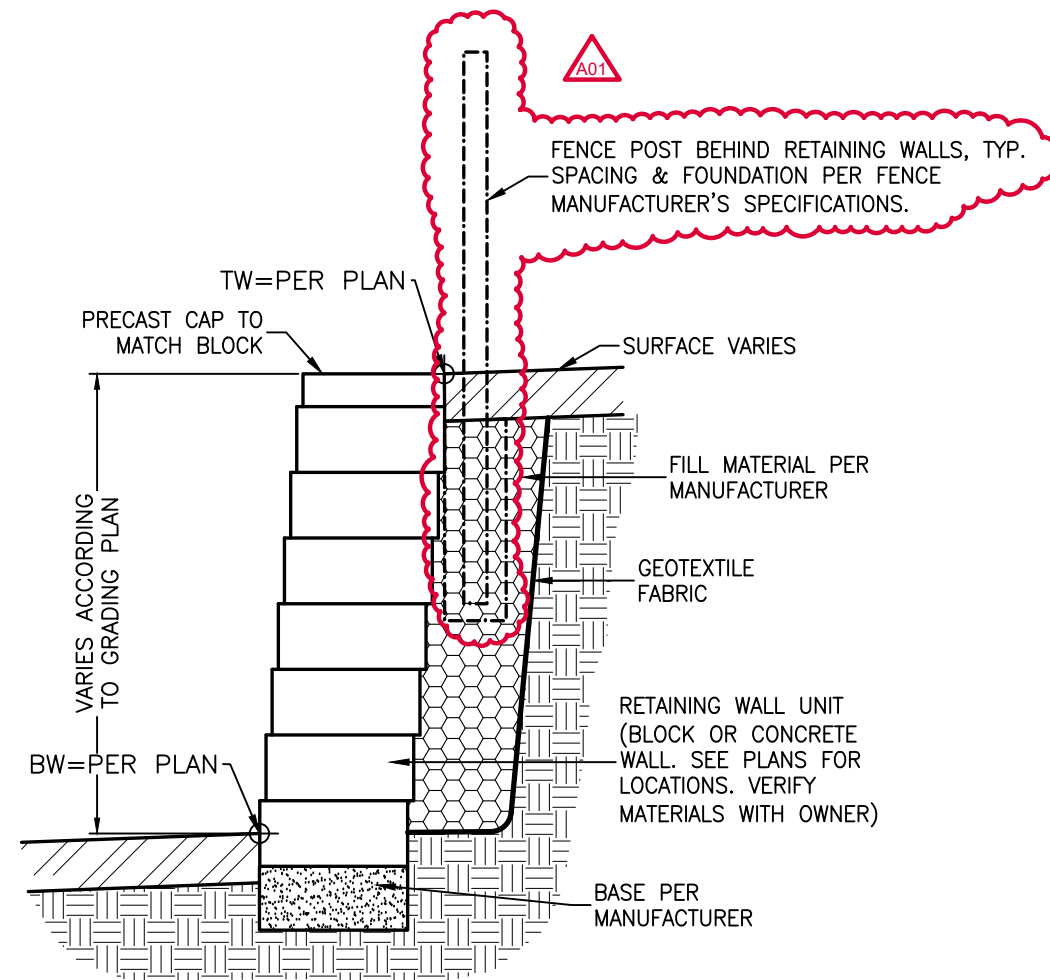
THICKENED EDGE WALK



CONCRETE CURB AND GUTTER

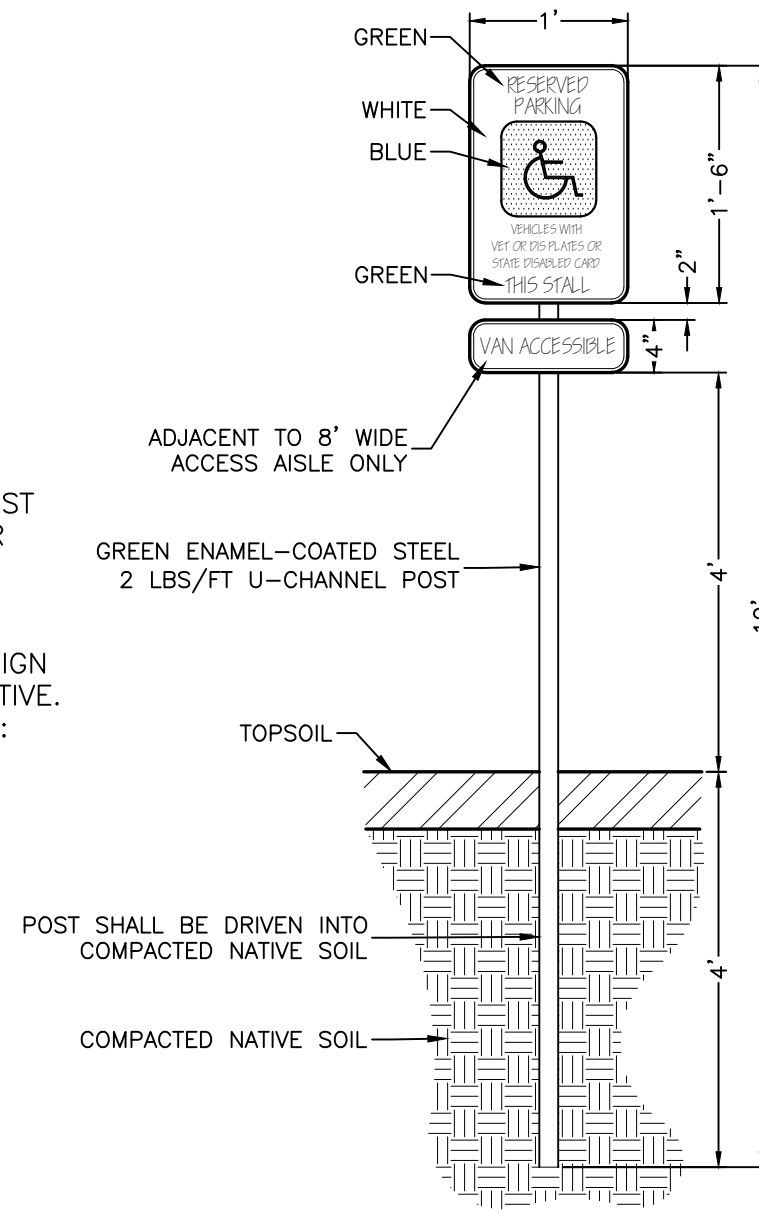


PARKING LOT STRIPING

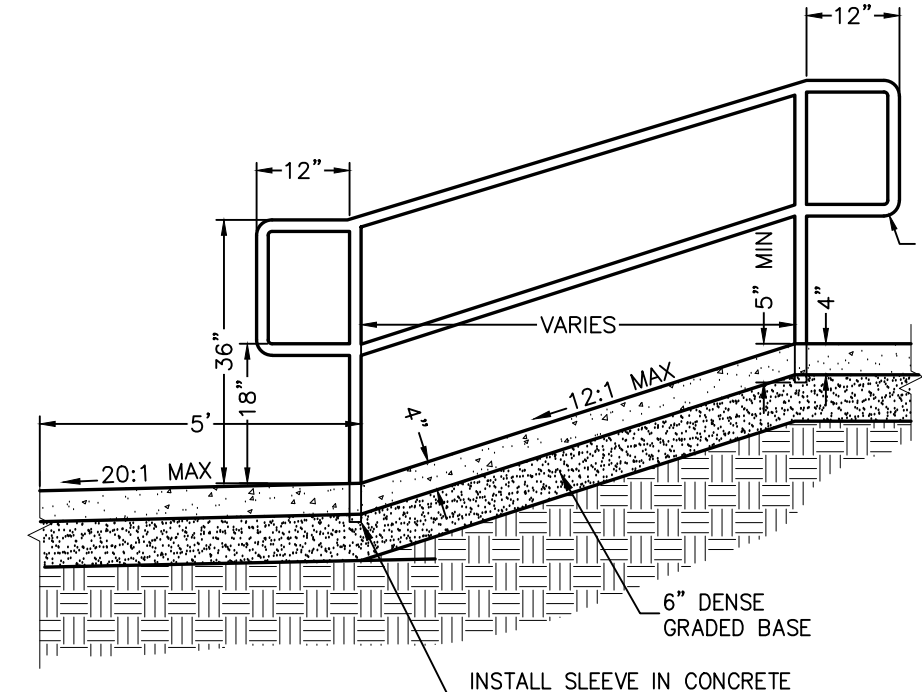


CMU GRAVITY RETAINING WALL

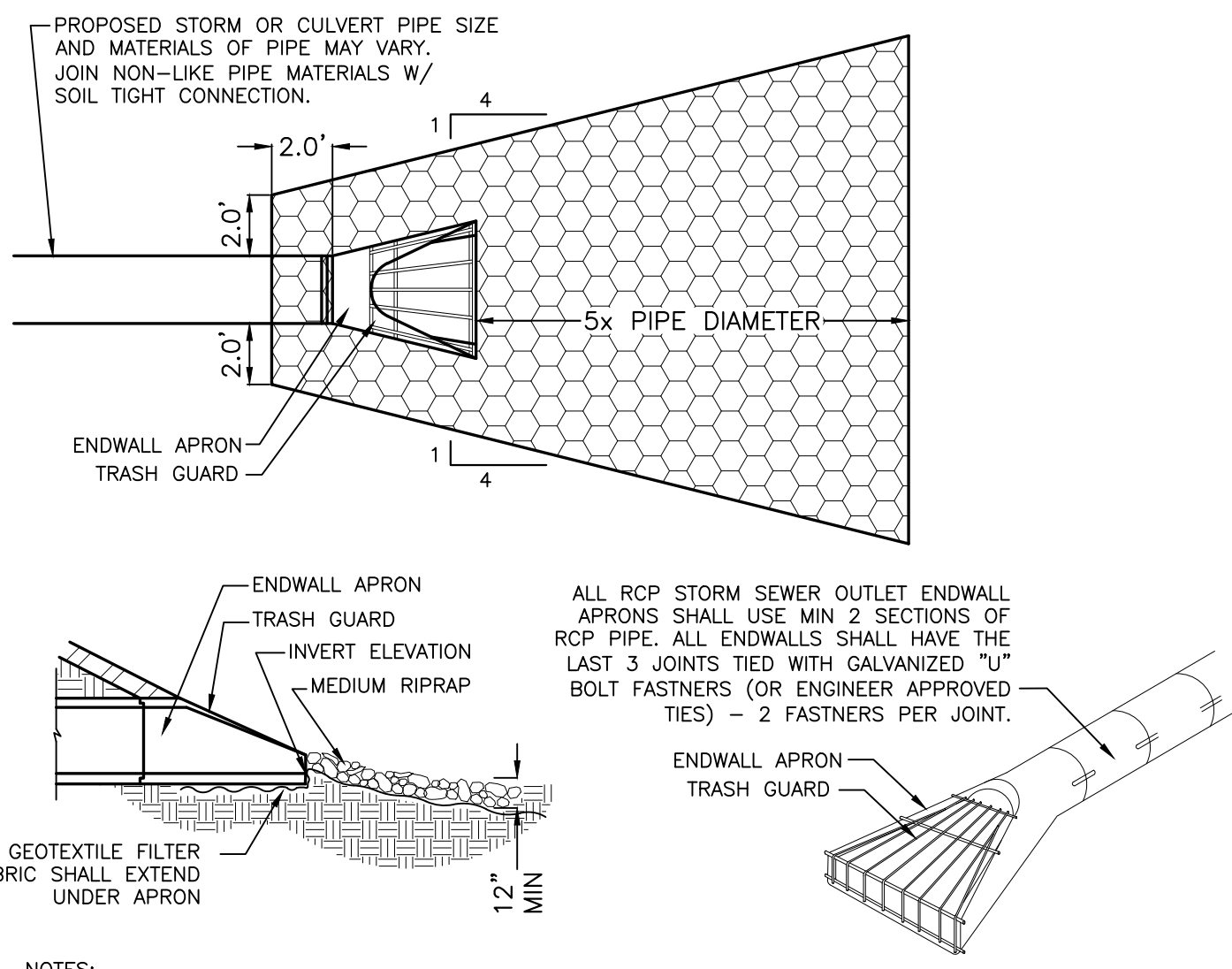
- NOTES:
- IN ACCORDANCE WITH WI TRANS 200.07(2)(g), THE SIGN SHALL CONSIST OF A WHITE RECTANGLE WITH LONGER DIMENSION VERTICAL, HAVING GREEN MESSAGE, AND A BLUE AND WHITE INTERNATIONAL SYMBOL FOR THE BARRIER-FREE ENVIRONMENTS. THE SIGN MAY BE REFLECTIVE OR NON-REFLECTIVE.
 - THE SIGN MUST INCLUDE THE WORDS:
- RESERVED PARKING
- VEHICLES WITH VET OR DIS PLATES OR STATE
- DISABLED CARD THIS STALL



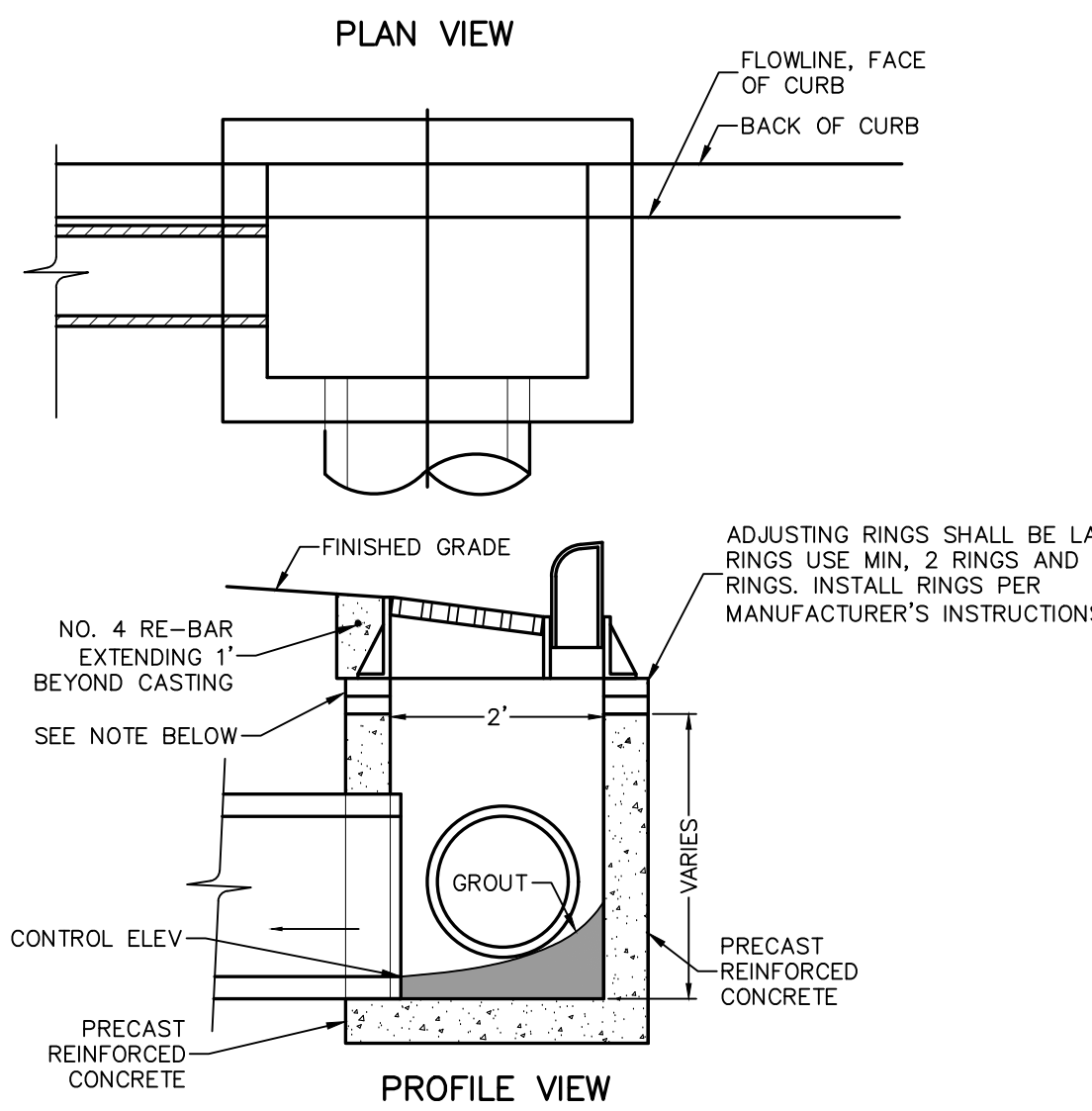
ADA PARKING SIGN



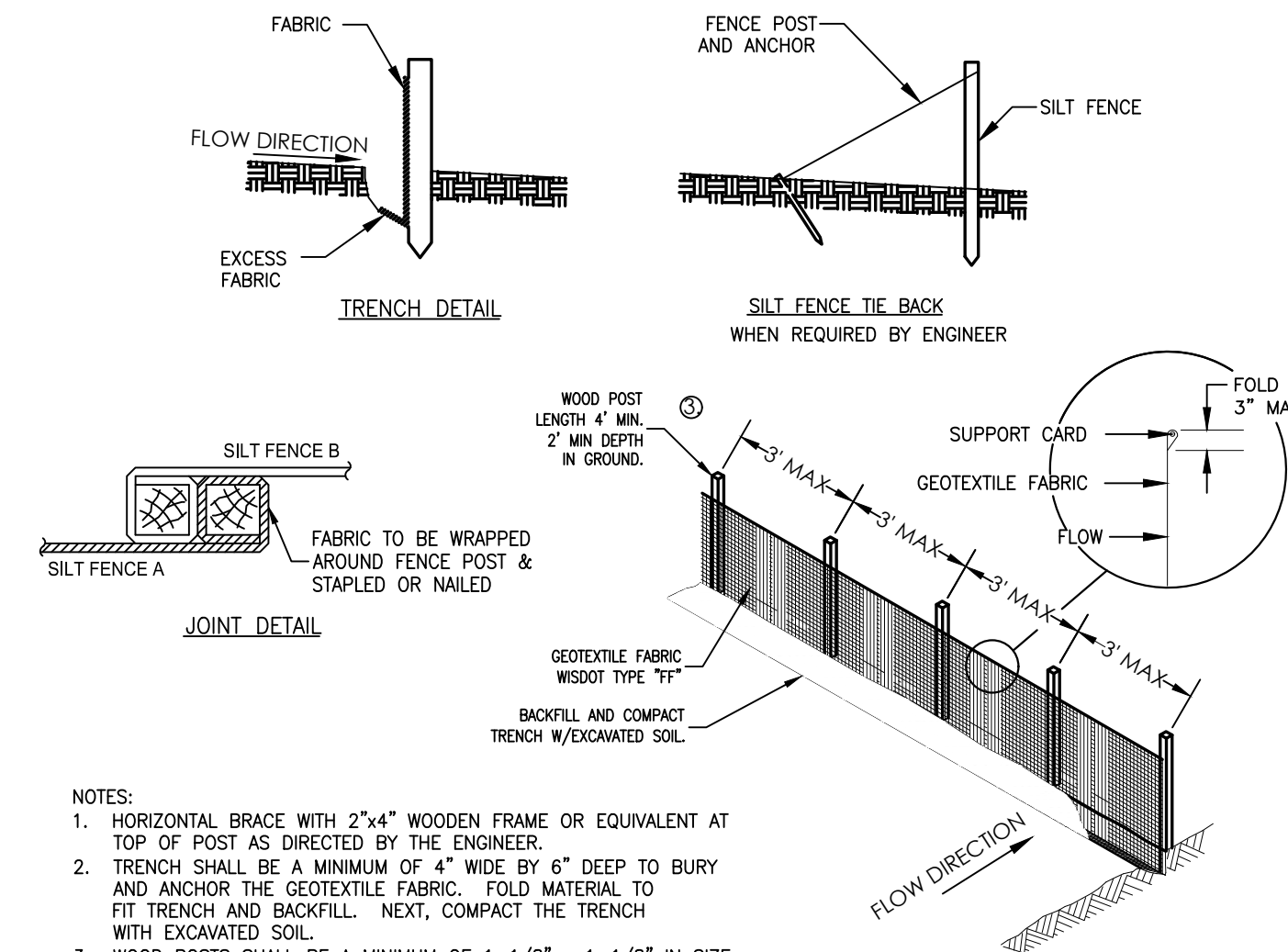
PEDESTRIAN RAMP W/ HANDRAIL



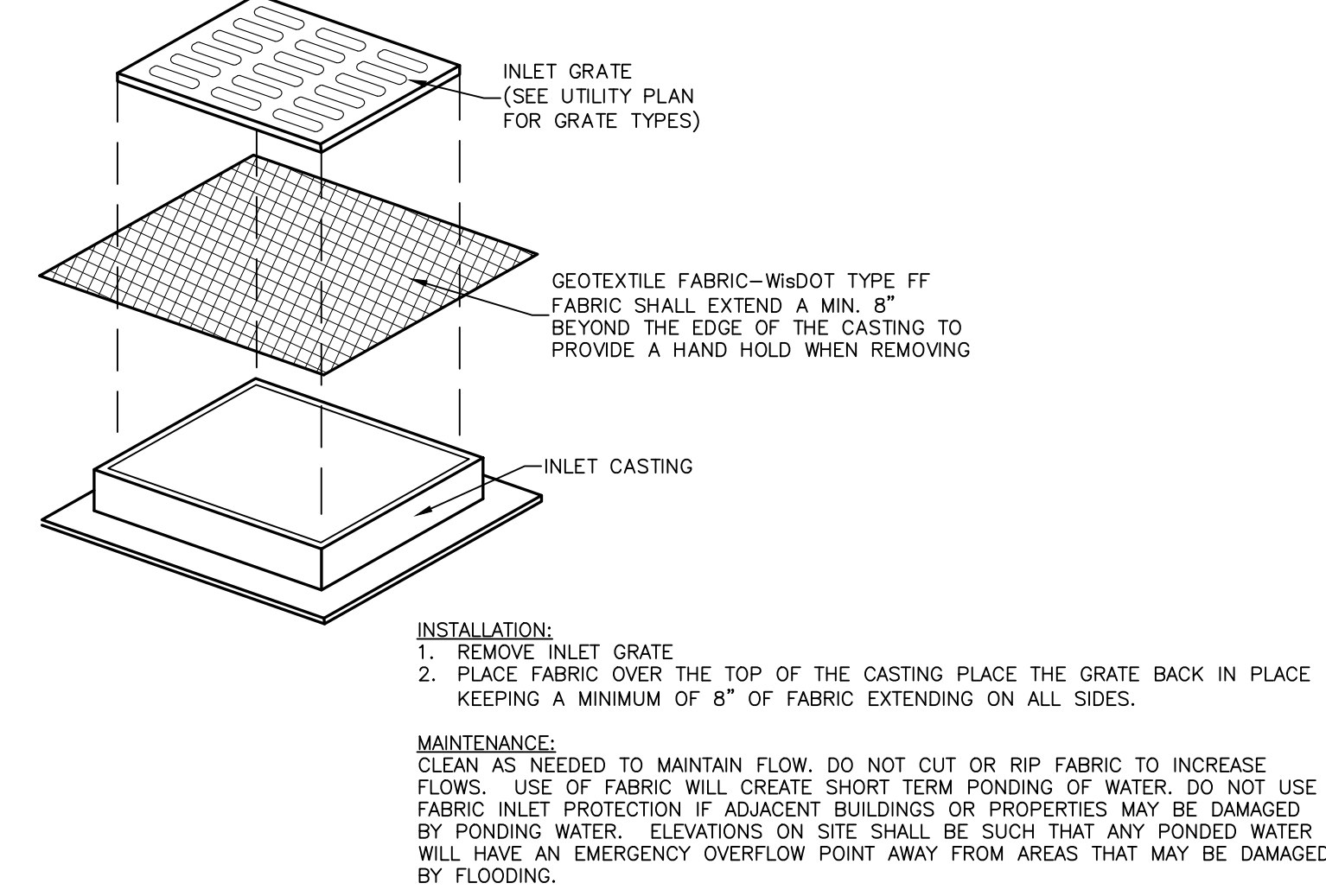
ENDWALL W/ RIPRAP



STORM SEWER CURB INLET



SILT FENCE



INLET PROTECTION