



ADDENDUM #1
ADAMS COUNTY ADMINISTRATION BUILDING
SITE AND BUILDING IMPROVEMENTS
PROJECT 21993005
October 17, 2025

Page 1 of 3

NOTICE

This Addendum is issued to modify, explain or correct the original drawings, specifications and/or previous addendums and is hereby made a part of the Contract Documents. Please attach this Addendum to the specifications in your possession and note receipt of this Addendum on page 00 41 00-1 of the bid. The bid date remains unchanged.

PROJECT MANUAL

DIVISION 00 – PROCUREMENT AND CONTRACTING REQUIREMENTS

Section 00 73 00 – Supplementary General Conditions

OMIT items 11.1.5 and 11.1.6 in there entirety.

Note: The Owner will carry the Builders Risk Policy.

DIVISION 08 – OPENINGS

Section 08 34 55 Bullet Resistant Flush Wood Doors and Frames

2.01 MANUFACTURERS

ADD item D. as follows:

D. Chicago Bullet Proof Systems

2.02 MATERIALS, Item D.

REVISE Wood cut to be "Plain Sliced" vs. "Book Matched"

Section 08 71 00 – Door Hardware

3.05 SCHEDULE (H.S. = Hardware Set)

ADD hardware sets 6, 7 and 8 as follows:

HS 6 (New replacement exterior door and frame with existing Access Control) 002A

Existing to be reused:

3 butts

1 Lock

1 Closer

1 Electric Strike

Access control system NOTE: Maintain, reuse, relocate (if needed) and integrate existing access control devices and recommission.

00 91 13-1

New (match existing type)

1 Kick Plate
1 Threshold
Weatherstripping (seals & sweep)

HS 7 – (Existing interior door/frame, access control, most hardware to remain with new delayed egress system)
Delayed egress device/system All components, hardware, alterations and commissioning to function and integrate into the existing access control system and alarm system.

HS8 (Non-Bullet Resistant Doors with New Access Control)

3 butts	BB1191	(Hager)
1 Lock	L/LV9070	(Schlage)- <i>Verify function with CA system</i>
Closer	4040XP Spring Cush	(LCN)
1 Kick Plate	190S, 12 inch	
1 Electric Strike	6400 Series or equal	(Von Duprin)

NOTE: New access control devices wired and provided and commissioned by the Owner Access Control Contractor. Electrician shall rough-in conduit and junction boxes for all access control devices.

OPERATIONAL DESCRIPTION: DOOR NORMALLY CLOSED AND LOCKED. FREE EGRESS ALLOWED AT ALL TIMES. OUTSIDE ACCESS BY CARD READER, WHICH WILL SHUNT THE ALARM AND UNLOCK ELECTRIC STRIKE

DIVISION 13 – SPECIAL CONSTRUCTION

SECTION 13 40 00 - BULLET-RESISTANT PROTECTION

2.01 MANUFACTURERS

ADD item C as follows:

“C. Chicago Bullet Proof Systems”

2.02 BULLET-RESISTANT FIBERGLASS WALL PANELS:

OMIT Items B.6, C., D., and E.

ADD item C. as follows:

- “C. BULLET-RESISTANT TRANSACTION WINDOW:
1. Shall be 3-sided extruded aluminum, clear or dark bronze anodized finish, prime painted 16 gauge steel, with UL-4 rating, non-ricochet natural voice frame with U.L. rated fiberglass frame liner.
 2. Glazing shall be 1.31 inch thick, UL-4 rated, glass/polycarbonate composite, Armotex Product Code GCP 400.
 3. 12 inch wide 16 gauge stainless steel dip tray, SS #3 finish, Armotex Model #RMDT-1012.”

DIVISION 22 – PLUMBING PERFORMANCE SPECIFICATIONS

REVISE Tank type toilet fixtures to floor mounted flush valve type (similar type to the existing but ADA height).

DIVISION 23, 24, 25 – HEATING, VENTILATING, AND AIR CONDITIONING (HVAC) PERFORMANCE SPECIFICATIONS

REVISE to convey that at existing ceiling replacement area the existing HVAC ceiling grilles and diffusers may be cleaned and reused.

DIVISION 32 – EXTERIOR IMPROVEMENTS

Section 32 17 23 PAVEMENT MARKING

REPLACE Paragraph 2.01, A. with the following:

“2.01 WATERBORNE PAINT

- A. Furnish paint from the State of Wisconsin, Department of Transportation's approved product list <http://wisconsindot.gov/pages/doing-bus/eng-consultants/cnsIt-rsrcs/tools/appr-prod/default.aspx>.”

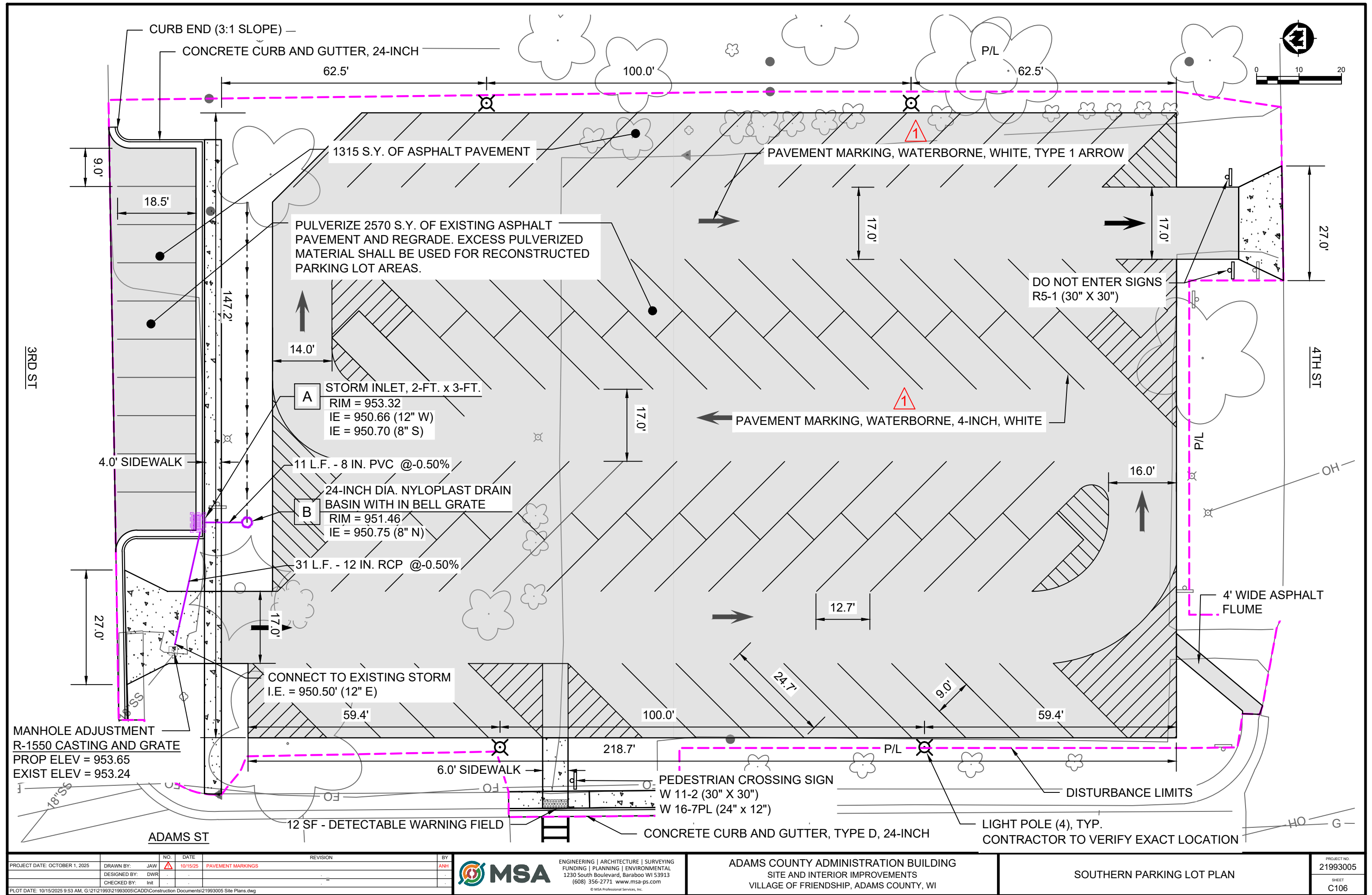
DRAWINGS

REPLACE: SHEETS C106, C107 AND C108 in their entirety with attached marked “Addendum #1”.
General Topic: Revision of the pavement markings to waterborne.

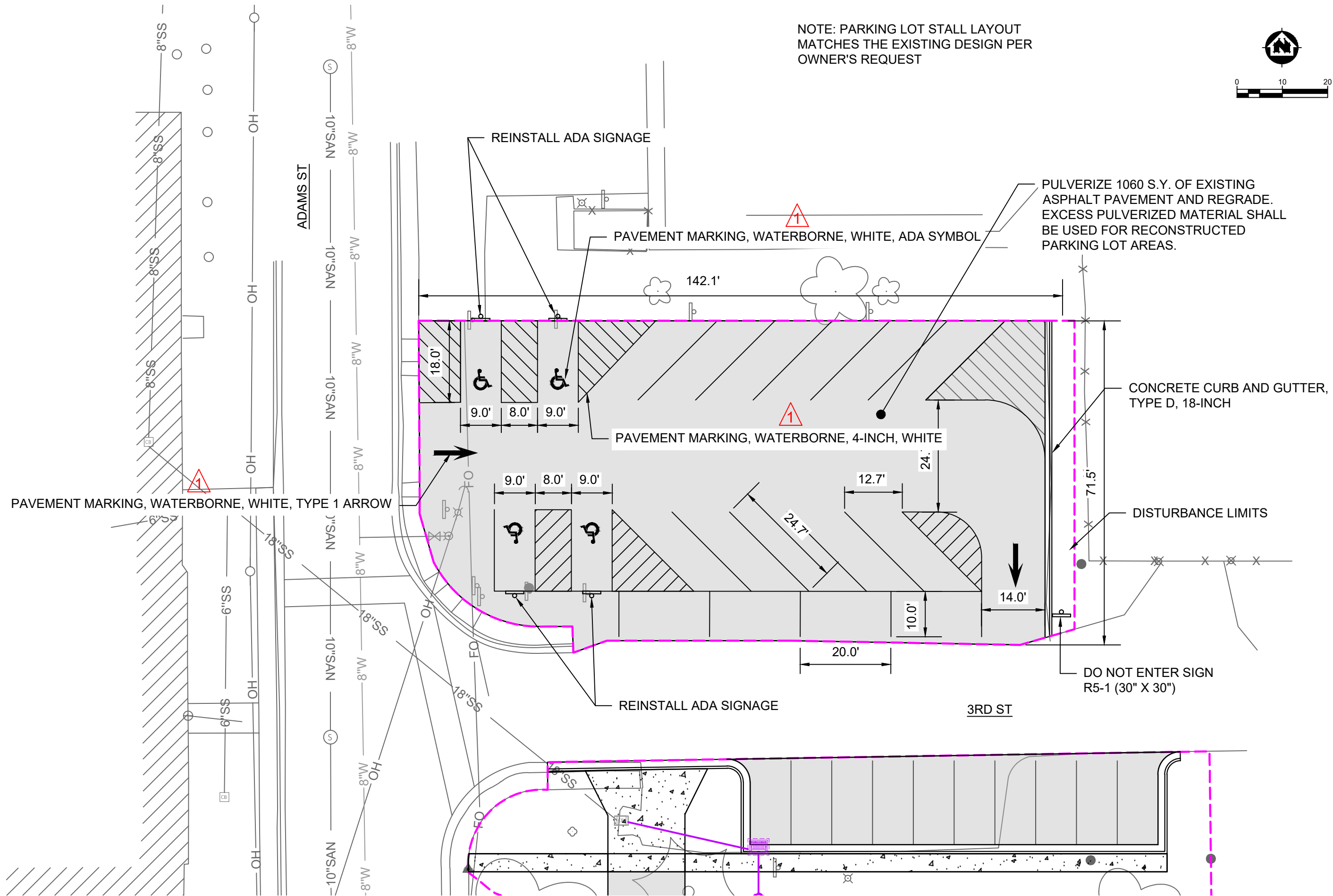
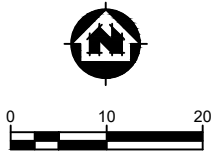
REPLACE: SHEETS T101, A0D101, A0D102, A101, A102, A103, A104, A108, A201, A601 and A602 in their entirety with attached marked “Addendum #1”.
General Topics (see drawing for added items):

- Courthouse
 - o Exit Sign Clarifications/Revisions.
 - o Replacement of egress Door 002A with wider door and associates wall remodel.
 - o Wall opening at south exit door will no longer be infilled with CMU. Door C103 will remain with hardware revision with an added delayed egress system.
 - o Added Corridor Door C102 and associate added wall.
- Administration Area
 - o Clarified retrofit wall for BR panel keeps the existing wall construction facing the staff side.
 - o Toilet Room A041, the proposed toilet orientation changed to match the existing orientation to simplify the required work.
 - o Tunnel Security Alteration: Revised to just remove door and infill masonry opening vs. installing a new wall.
 - o Conf Rm A160 the new south is omitted, and the existing south wall will be remodeled.
 - o IT Room A142, relocate Mini-Split unit to the new south exterior wall.

END OF ADDENDUM



NOTE: PARKING LOT STALL LAYOUT
MATCHES THE EXISTING DESIGN PER
OWNER'S REQUEST



PROJECT DATE:	DRAWN BY:	NO.	DATE	REVISION	BY
OCTOBER 1, 2025	JAW	1	10/15/25	PAVEMENT MARKINGS	ANH
	DESIGNED BY: DWR				
	CHECKED BY: Init				

PLOT DATE: 10/15/2025 9:54 AM, G:\212\1993\21993005\CADD\Construction Documents\21993005 Site Plans.dwg

MSA
ENGINEERING | ARCHITECTURE | SURVEYING
FUNDING | PLANNING | ENVIRONMENTAL
1230 South Boulevard, Baraboo WI 53913
(608) 356-2771 www.msa-ps.com
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ADAMS COUNTY ADMINISTRATION BUILDING
SITE AND INTERIOR IMPROVEMENTS
VILLAGE OF FRIENDSHIP, ADAMS COUNTY, WI

NORTHERN PARKING LOT PLAN

PROJECT NO:
21993005
SHEET
C108

OWNER:
ADAMS COUNTY
401 Adams Street,
Friendship, WI 53934

**ARCHITECT/ CIVIL/
STRUCTURAL ENGINEER:**
MSA PROFESSIONAL SERVICES, INC.
1230 SOUTH BLVD
BARABOO, WI 53913
PH: 608-356-2771
FAX: 608-356-2770

An aerial photograph of a residential development. The image shows several large, multi-story buildings with dark roofs and one building with a prominent red roof. A large parking lot with numerous cars is visible on the right side. Orange dashed lines are drawn on the image to highlight specific areas: a small square on a dark roof, a larger rectangular area encompassing the red-roofed building and part of the adjacent dark-roofed building, and a large rectangular area on the right side that includes a parking lot and a building.

GENERAL		ARCHITECTURAL	
T101	TITLE SHEET	A0D101	DEMOLITION - FLOOR PLAN - GROUND LEVEL
T102	SYMBOLS AND ACCESSIBILITY STANDARDS	A0D102	DEMOLITION- FLOOR PLAN - MAIN LEVEL
CIVIL		A0D103	DEMOLITION - ARCHITECTURE DETAILS
C101	OVERALL LAYOUT PLAN	A0D104	DEMOLITION - ARCHITECTURE DETAILS
C102	PROJECT OVERVIEW	A0D105	DEMOLITION - ARCHITECTURE DETAILS
C103	REMOVAL PLAN	A101	FLOOR PLAN - GROUND LEVEL OVERALL
C104	EROSION CONTROL PLAN	A102	FLOOR PLAN - GROUND LEVEL
C105	LANDSCAPING PLAN	A103	FLOOR PLAN - MAIN LEVEL OVERALL
C106	SOUTHERN PARKING LOT PLAN	A104	FLOOR PLAN - MAIN LEVEL
C107	BUILDING AND SITE PARKING LOT PLAN	A105	REFLECTED CEILING PLAN - GROUND LEVEL
C108	NORTHERN PARKING LOT PLAN	A106	REFLECTED CEILING PLAN - MAIN LEVEL
C109	OVERALL GRADING PLAN	A107	FLOOR FINISH PLAN - GROUND LEVEL
C110	EASTERN PARKING LOT GRADING PLAN	A108	FLOOR FINISH PLAN - MAIN LEVEL
C111	BUILDING GRADING PLAN	A109	ENTRANCE SITE PLAN
C112	CROSSWALK LAYOUT PLAN	A110	ENTRANCE LANDSCAPE PLAN
C113	WESTERN PARKING LOT GRADING PLAN	A201	INTERIOR ELEVATIONS
C114	NORTHERN PARKING LOT GRADING PLAN	A202	INTERIOR ELEVATIONS
C501	EROSION CONTROL DETAILS	A301	WALL TYPES
C502	STANDARD DETAILS	A501	ARCHITECTURAL DESK DETAILS
C503	STANDARD DETAILS	A502	ARCHITECTURAL DETAILS
C504	STANDARD DETAILS	A503	ARCHITECTURAL ENTRANCE DETAILS
C505	STANDARD DETAILS	A504	ARCHITECTURAL DETAILS
C506	STANDARD DETAILS	A601	DOOR AND WINDOW SCHEDULE
C507	STANDARD DETAILS	A602	FINISH SCHEDULE
C508	STANDARD DETAILS		
C509	STANDARD DETAILS		

2018 WISCONSIN COMMERCIAL BUILDING CODE (2015 IBC)										
EXISTING BUILDING AREA										
LEVEL 2 REMODELING WORK AREAS:										
	GROUND FLOOR			FIRST FLOOR			SECOND FLOOR			TOTAL BLDG.
	WORK AREA	TOTAL FLOOR AREA	%	WORK AREA	TOTAL FLOOR AREA	%	WORK AREA	TOTAL FLOOR AREA	%	% WORK AREA
SOUTH ADMIN. BUILDING	1,502 SF	6,350 SF	24	8,870 SF	12,426 SF	71	0 SF	6,060 SF	0	42
COURTHOUSE	671 SF	7,165 SF	9	25 SF	7,309 SF	1	0 SF	7,309 SF	0	3
LAW ENFORCEMENT CENTER	10 SF	16,468 SF	0	0 SF	14,592 SF	0	0 SF	11,563 SF	0	0
BUILDING VOLUME:				OVER 50,000 CF						
CONSTRUCTION TYPES:										
	SOUTH ADMIN. BLDG.			IIB						
	COURTHOUSE			IIIB						
	LAW ENFORCEMENT CENTER			IB						
SPRINKLERS:										
	SOUTH ADMIN. BLDG.			NO						
	COURTHOUSE			NO						
	LAW ENFORCEMENT CENTER			YES						
OCCUPANCIES (MAIN INDICATED):										
	SOUTH ADMIN. BLDG.			B						
	COURTHOUSE			B-BUINESS, S-1 STORAGE (ACCESSORY)						
	LAW ENFORCEMENT CENTER			B-BUINESS, S-1 STORAGE (ACCESSORY), A-3-ASSEMBLY (2ND FLOOR)						
EXISTING FIRE ALARM & SMOKE DETECTION SYSTEM				I-3 INSTITUTIONAL, B-BUINESS, A-3 ASSEMBLY						

ARCHITECTURE	CIVIL/SITE	STRUCTURAL
		

AB	ANCHOR BOLT	LVL	LAMINATED VENEER LUMBER
AC	AIR CONDITIONER	LAV	LAVATORY
ADDL	ADDITIONAL	MATL	MATERIAL
ADJ	ADJACENT	MAX	MAXIMUM
AFF	ABOVE FINISHED FLOOR	MBS	METAL BUILDING SYSTEM
AGGR	AGGREGATE	MECH	MECHANICAL
ALT	ALTERNATE	MFR / MANUF	MANUFACTURE(D) (R)
ALUM	ALUMINUM	MIN	MINIMUM
APPROX	APPROXIMATE(LY)	MISC	MISCELLANEOUS
ARCH	ARCHITECTURE (AL)	MPH	MILES PER HOUR
B/	BOTTOM OF	MTL	METAL
BD	BOARD	MO	MASONRY OPENING
BIT	BITUMINOUS	NIC	NOT IN CONTRACT
BLDG	BUILDING	NOM	NOMINAL
BLKG	BLOCKING	NTS	NOT TO SCALE
BM	BEAM	OC	ON CENTER
BOT	BOTTOM	OD	OUTSIDE DIAMETER
BRC	BRACE / BRACING	OF	OUTSIDE FACE
BRG	BEARING	OH	OVERHEAD
CJ	CONTROL / CONTRACTION JOINT	OPNG	OPENING
CL	CENTERLINE	OPP HD	OPPOSITE HAND
CLG	CEILING	PAF	POWER ACTUATED FASTENER
CLR	CLEAR	PC	PRECAST CONCRETE
CMU	CONCRETE MASONRY UNIT	PCFS	POUNDS PER CUBIC FOOT
COL	COLUMN	PL	PLATE
CONC	CONCRETE	P/L	PROPERTY LINE
CONT	CONTINUOUS	PLBG	PLUMBING
CONTR	CONTRACTOR	PLF	POUNDS PER LINEAL FOOT
CORR	CORRUGATED	PLWD / PLYWD	PLYWOOD
CPT	CARPET	PLAM	PLASTIC LAMINATE
CT	CERAMIC TILE	PSF	POUNDS PER SQUARE FOOT
CSJ	CONSTRUCTION JOINT	PSI	POUNDS PER SQUARE INCH
DBL	DOUBLE	PSL	PARALLEL STRAND LUMBER
DEMO	DEMOLISH / DEMOLITION	PT	PRESERVATIVE / PRESSUR TREATED
DIA	DIAMETER	QT	QUARRY TILE
DIM	DIMENSION	RAD	RADIUS
DIV	DIVISION	RCP	REFLECTED CEILING PLAN
DF	DRINKING FOUNTAIN	RD	ROOF DRAIN / ROOF DECK
DS	DOWNSPOUT	REF	REFERENCE
DT	DRAIN TILE	REINF	REINFORCE(D) (ING)
DTL	DETAIL	REQD	REQUIRED
DWG	DRAWING	REV	REVISED, REVISION(S)
EF	EACH FACE	ROW	RIGHT OF WAY
EL	ELEVATION	RO	ROUGH OPENING
ELEC	ELECTRIC(AL)	RTU	ROOFTOP UNIT
EOR	ENGINEER OF RECORD	SCH	SCHEDULE
EQ	EQUAL	SECT	SECTION
EQUIV	EQUIVALENT	SF	SQUARE FOOT
EW	EACH WAY	SHT	SHEET
EWC	ELECTRIC WATER COOLER	SIM	SIMILAR
EXP	EXPANSION	SOG	SLAB-ON-GRADE
EXIST / (E)	EXISTING	SPECS	SPECIFICATIONS
EXT	EXTERIOR	SQ	SQUARE
FD	FLOOR DRAIN	SS	STAINLESS STEEL
FDN	FOUNDATION	SSV	STAIN AND VARNISH
FE	FIRE EXTINGUISHER	STD	STANDARD
FF	FINISHED FLOOR	STL	STEEL
FG	FINISHED GRADE	STRUCT / STR	STRUCTURE (AL)
FIN	FINISH(ED)	T/	TOP OF
FLR	FLOOR	T&B	TOP AND BOTTOM
FRP	FIBERGLASS REINFORCED POLYMER	T&G	TONGUE AND GROOVE
FT	FOOT / FEET	THK	THICK(NESS)
FTG	FOOTING	THRU	THROUGH
GA	GAUGE	TYP	TYPICAL
GALV	HOT-DIPPED GALVANIZE(D)	UNEX	UNEXCAVATED
GC	GENERAL CONTRACTOR	UNO	UNLESS NOTED OTHERWISE
GR	GRADE	VERT	VERTICAL
GYP	GYPSUM	VIF	VERIFY IN FIELD
HB	HOSE BIBB	VCT	VINYL COMPOSITION TILE
HC	HOLLOW CORE	WVC	VINYL WALL COVERING
HD	HEADER	W/	WITH
HORIZ	HORIZONTAL	WD	WOOD
HT	HEIGHT	WH	WATER HEATER
HTG	HEATING	W/IN	WITHIN
HM	HOLLOW METAL	W/O	WITHOUT
HVAC	HEATING, VENTILATING, AIR CONDITIONING	WP	WORKING POINT
ID	INSIDE DIAMETER	WS	WATERSTOP
IF	INSIDE FACE	WT	WEIGHT
INCL	INCLUDE(D) (ING)	WWM	WELDED WIRE MESH
INSUL	INSULATION	WWR	WELDED WIRE REINFORCEMENT
INT	INTERIOR		
INV	INVERT		
JT	JOINT		
LL	LIVE LOAD		
LLH	LONG LEG HORIZONTAL		
LLV	LONG LEG VERTICAL		

ALL OF THE CONTRACTORS AND SUPPLIERS ARE RESPONSIBLE TO
INCLUDE ALL LABOR AND MATERIAL REQUIRED TO PROVIDE 100%
COMPLETED PROJECT TO THE OWNER

KEY NOTES #

- 1 EXISTING FLOOR FINISH MATERIAL - TO BE REMOVED DOWN TO CONCRETE SLAB. PREP FLOOR FOR NEW FINISH - SEE FINISH PLAN
- 2 EXISTING DOOR, FRAME AND HARDWARE TO BE REMOVED - PREP FOR NEW DOOR, FRAME AND HARDWARE
- 3 EXISTING PLUMBING FIXTURES - TO BE REMOVED - CAP PIPE - COVER WITH CONCRETE FILLER
- 4 EXISTING CMU WALL - TO BE REMOVED FULL HEIGHT.
- 5 EXISTING CEILING AND GRID TO BE REMOVED COMPLETELY
- 6 EXISTING DESK, CASEWORK, AND COUNTERTOP - TO BE REMOVED
- 7 EXISTING INTERIOR WALL TO BE REMOVED - FULL HEIGHT
- 8 EXISTING DOOR, FRAME AND HARDWARE TO BE REMOVED
- 9 PREPARE SPACE FOR NEW FLOOR, WALL AND CEILING FINISHES
- 11 INTERIOR WALL TO BE PREPPED FOR NEW DOOR
- 12 REMOVE EXISTING EXIT DOUBLE DOOR, PREPARE WALL FOR MASONRY INFILL
- 13 REMOVE CLOSET DOOR

KEY NOTES

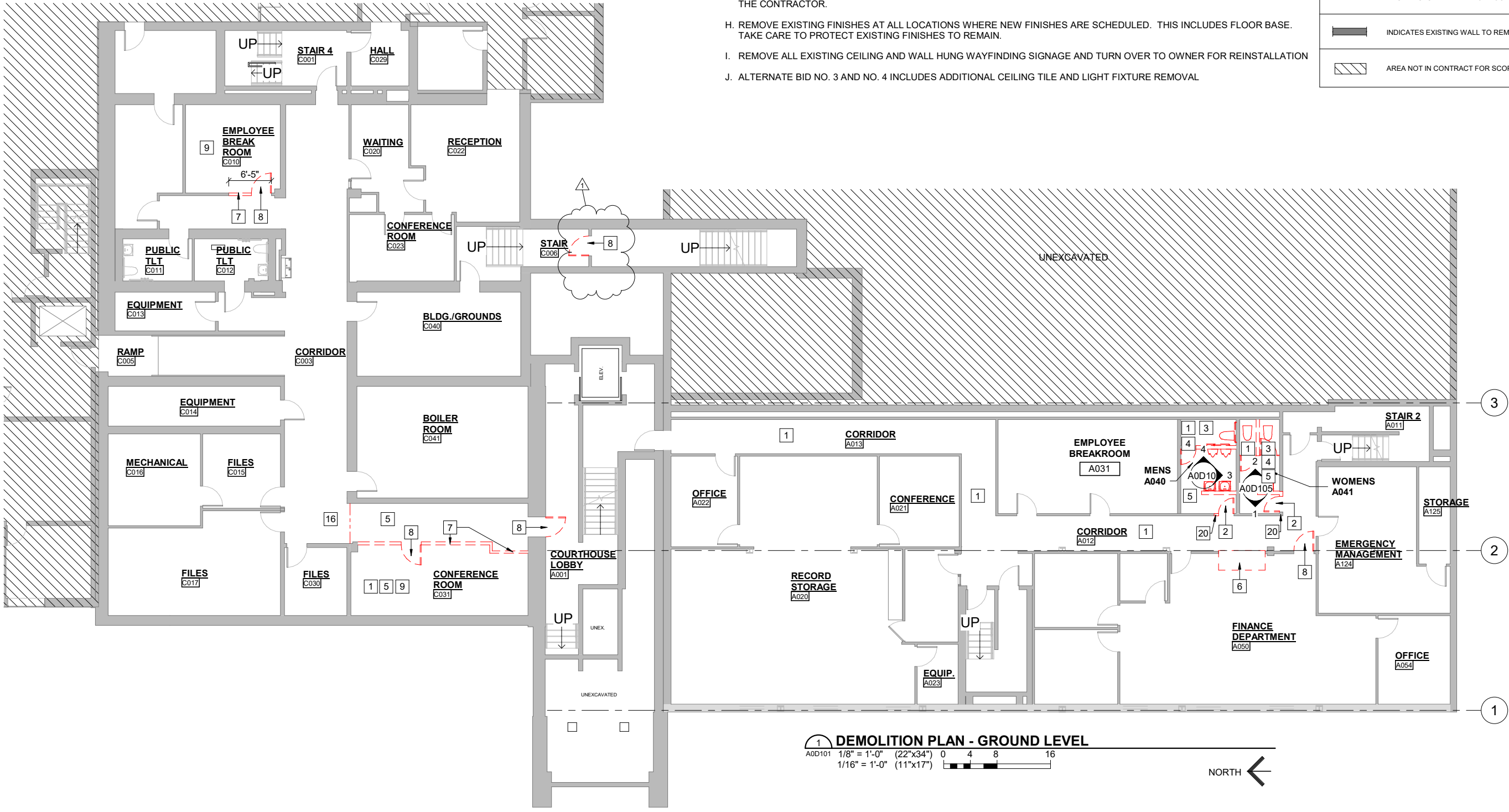
- 14 REMOVE EXISTING CHECK-IN WINDOW - PREP WALL FOR NEW WINDOW INSTALLATION SEE 3-RA104
- 15 REMOVE EXISTING INTERIOR WINDOW - INFILL WITH GYP BOARD AND FINISH TO MATCH EXISTING
- 16 SAVE AND REUSE CORRIDOR CEILING
- 17 IF ALTERNATE IS NOT ACCEPTED - SAVE EXISTING CEILING
- 18 SAVE EXISTING CEILING AND RESUE GRID AND TILE - TIE INTO NEW WALL
- 19 REMOVE AND CAP EXISTING PLUMBING PIPING AND EQUIPMENT. PRIOR TO REMOVAL VERIFY THE EQUIPMENT IS INACTIVE
- 20 REMOVE EXISTING RESTROOM SIGNAGE AND SALVAGE FOR REINSTALLATION
- 21 DEMO EXISTING WALL DOWN TO METAL STUDS ONLY ON PUBLIC FACING SIDE OF EXISTING WALL - PREP FOR S2 WALL TYPE
- 22 REMOVE AND REINSTALL DRINKING FOUNTAIN
- 23 REMOVE EXISTING MINI SPLIT SYSTEM - SAVE FOR REINSTALLATION AT SOUTH OF NEW IT ROOM

REMOVAL GENERAL NOTES

- A. ALL EXISTING DIMENSIONS ARE +/- AND REQUIRE FIELD VERIFICATION.
- B. CONTRACTOR SHALL COORDINATE AND PROVIDE ALL DEMOLITION AND REMOVAL OF DEBRIS NECESSARY TO ACCOMMODATE NEW CONSTRUCTION.
- C. DEMOLITION PLAN IS PROVIDED AS AN AID IN PLANNING AND DOES NOT RELIEVE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE EXISTING JOB SITE CONDITIONS.
- D. DEMOLITION PLANS SHALL BE USED IN CONJUNCTION WITH THE REMAINDER OF THE SHEETS IN THIS SET.
- E. ALL AREAS, FINISHES, AND ITEMS NOT REQUIRING DEMOLITION MUST BE PROTECTED DURING DEMOLITION AND CONSTRUCTION WORK.
- F. IN ADDITION TO THE DEMOLITION SHEETS, REFERENCE FIRE PROTECTION, PLUMBING, HVAC, AND ELECTRICAL FOR ITEMS TO BE REMOVED AND/OR RELOCATED.
- G. PRIOR TO START OF DEMOLITION WORK, VERIFY WITH THE OWNER ALL ITEMS TO BE TURNED OVER TO THE OWNER. COORDINATE WITH OWNER FOR ALL ITEMS TO BE REMOVED BY THE OWNER. ALL ITEMS TO BE REMOVED AND SALVAGED FOR REINSTALLATION SHALL BE IN CLEAN CONDITION. ALL OTHER ITEMS TO BE REMOVED SHALL BE RESPONSIBILITY OF THE CONTRACTOR.
- H. REMOVE EXISTING FINISHES AT ALL LOCATIONS WHERE NEW FINISHES ARE SCHEDULED. THIS INCLUDES FLOOR BASE. TAKE CARE TO PROTECT EXISTING FINISHES TO REMAIN.
- I. REMOVE ALL EXISTING CEILING AND WALL HUNG WAYFINDING SIGNAGE AND TURN OVER TO OWNER FOR REINSTALLATION
- J. ALTERNATE BID NO. 3 AND NO. 4 INCLUDES ADDITIONAL CEILING TILE AND LIGHT FIXTURE REMOVAL

DEMOLITION KEY:

	INDICATES EXISTING DOOR AND HARDWARE TO BE REMOVED, EXISTING FRAME TO REMAIN.
	INDICATES EXISTING DOOR, HARDWARE AND FRAME TO BE REMOVED. RETOOTH SALVAGED BRICK AND NEW CMU AS REQUIRED IF DAMAGED WHEN REMOVING FRAME.
	REMOVE EXISTING ROOFING (ASPHALT SHINGLES, SHEATHING, ETC) AND STRUCTURE COMPLETELY. EXISTING METAL DECKING, JOIST FRAMING, BEAMS AND COLUMNS - TO REMAIN. REFERENCE STRUCTURAL DRAWINGS FOR ADDITIONAL WORK.
	INDICATES EXISTING WALL TO BE REMOVED. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION. WHERE EXISTING WALL IS REMOVED TO ACCOMMODATE NEW DOORS, INSTALL NEW LINTEL. REFER TO STRUCTURAL DETAIL FOR LINTEL INSTALLATION.
	INDICATES EXISTING WINDOW TO BE REMOVED, REFER TO ARCHITECTURAL PLANS FOR LOCATION.
	INDICATES EXISTING WALL TO REMAIN
	AREA NOT IN CONTRACT FOR SCOPE OF WORK



1 DEMOLITION PLAN - GROUND LEVEL
1/8" = 1'-0" (22"x34") 0 4 8 16
1/16" = 1'-0" (11"x17")

NORTH

10/17/2025 2:34:47
Autodesk Civil 3D (12/18/2025) Adams County 21993005 Adams County Admin. Arch. Rev. 04

PROJECT DATE:	OCTOBER 1, 2025	DRAWN BY:	CKW	No	1	DATE	10/17/25	REVISIONS	ADDENDUM #1	BY	ECA
		DESIGNED BY:	ECA								
		CHECKED BY:	ECA								

ENGINEERING | ARCHITECTURE | SURVEYING
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(608) 356-2771 www.msa-ps.com
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**ADAMS COUNTY ADMINISTRATION BUILDING SITE
AND INTERIOR IMPROVEMENTS**

FRIENDSHIP, WI

DEMOLITION - FLOOR PLAN - GROUND LEVEL

PROJECT NO.
21993005

SHEET
A0D101

KEY NOTES #

- 1 EXISTING FLOOR FINISH MATERIAL - TO BE REMOVED DOWN TO CONCRETE SLAB. PREP FLOOR FOR NEW FINISH - SEE FINISH PLAN
- 2 EXISTING DOOR, FRAME AND HARDWARE TO BE REMOVED - PREP FOR NEW DOOR, FRAME AND HARDWARE
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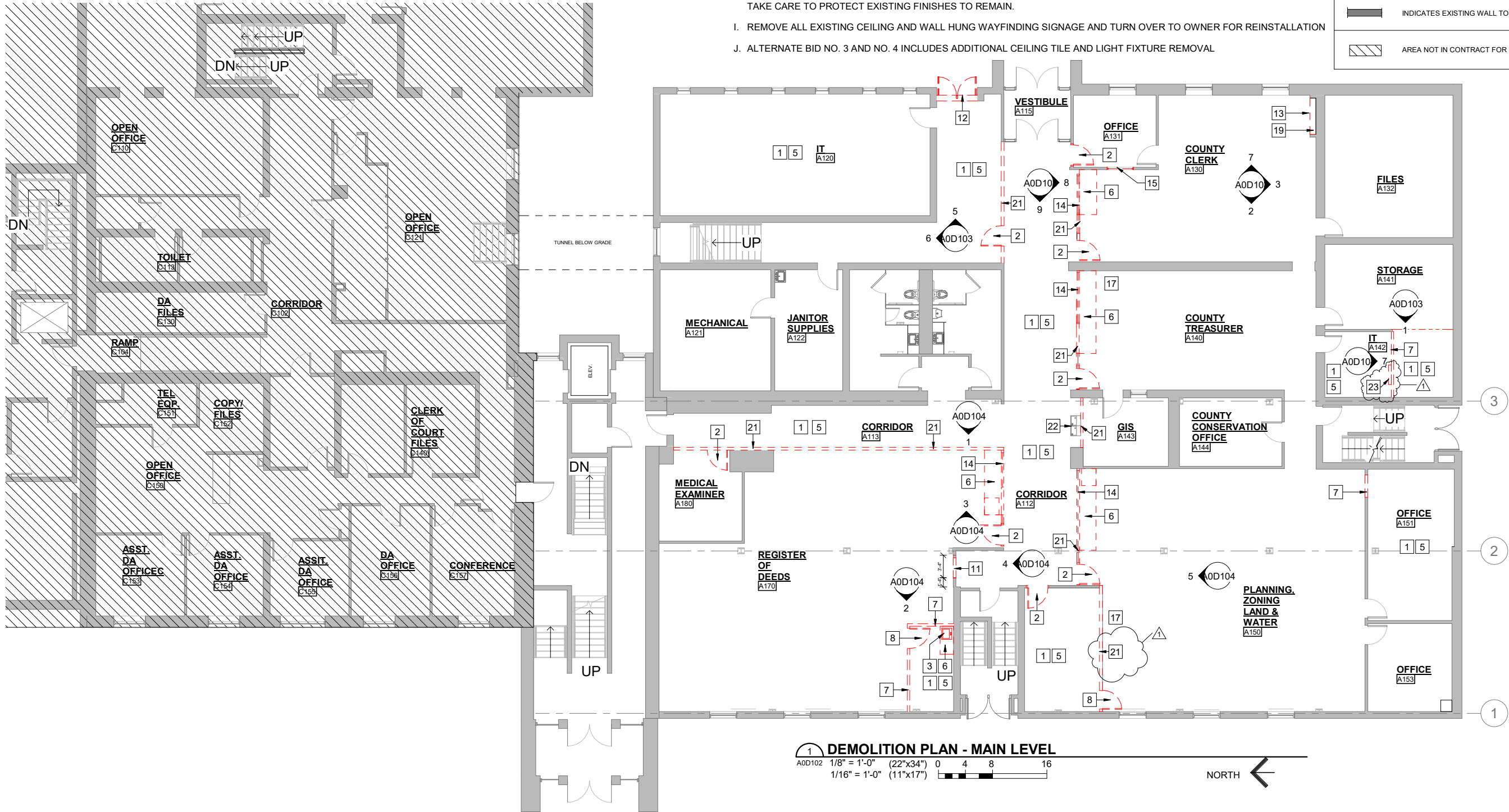
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- 20 REMOVE EXISTING RESTROOM SIGNAGE AND SALVAGE FOR REINSTALLATION
- 21 DEMO EXISTING WALL DOWN TO METAL STUDS ONLY ON PUBLIC FACING SIDE OF EXISTING WALL - PREP FOR S2 WALL TYPE
- 22 REMOVE AND REINSTALL DRINKING FOUNTAIN
- 23 REMOVE EXISTING MINI SPLIT SYSTEM - SAVE FOR REINSTALLATION AT SOUTH OF NEW IT ROOM.

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- E. ALL AREAS, FINISHES, AND ITEMS NOT REQUIRING DEMOLITION MUST BE PROTECTED DURING DEMOLITION AND CONSTRUCTION WORK.
- F. IN ADDITION TO THE DEMOLITION SHEETS, REFERENCE FIRE PROTECTION, PLUMBING, HVAC, AND ELECTRICAL FOR ITEMS TO BE REMOVED AND/OR RELOCATED.
- G. PRIOR TO START OF DEMOLITION WORK, VERIFY WITH THE OWNER ALL ITEMS TO BE TURNED OVER TO THE OWNER. COORDINATE WITH OWNER FOR ALL ITEMS TO BE REMOVED BY THE OWNER. ALL ITEMS TO BE REMOVED AND SALVAGED FOR REINSTALLATION SHALL BE IN CLEAN CONDITION. ALL OTHER ITEMS TO BE REMOVED SHALL BE RESPONSIBILITY OF THE CONTRACTOR.
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- I. REMOVE ALL EXISTING CEILING AND WALL HUNG WAYFINDING SIGNAGE AND TURN OVER TO OWNER FOR REINSTALLATION
- J. ALTERNATE BID NO. 3 AND NO. 4 INCLUDES ADDITIONAL CEILING TILE AND LIGHT FIXTURE REMOVAL

DEMOLITION KEY:

- INDICATES EXISTING DOOR AND HARDWARE TO BE REMOVED, EXISTING FRAME TO REMAIN.
- INDICATES EXISTING DOOR, HARDWARE AND FRAME TO BE REMOVED. RETOOTH SALVAGED BRICK AND NEW CMU AS REQUIRED IF DAMAGED WHEN REMOVING FRAME.
- REMOVE EXISTING ROOFING (ASPHALT SHINGLES, SHEATHING, ETC) AND STRUCTURE COMPLETELY. EXISTING METAL DECKING, JOIST FRAMING, BEAMS AND COLUMNS - TO REMAIN. REFERENCE STRUCTURAL DRAWINGS FOR ADDITIONAL WORK.
- INDICATES EXISTING WALL TO BE REMOVED. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION. WHERE EXISTING WALL IS REMOVED TO ACCOMMODATE NEW DOORS, INSTALL NEW LINTEL. REFER TO STRUCTURAL DETAIL FOR LINTEL INSTALLATION.
- INDICATES EXISTING WINDOW TO BE REMOVED, REFER TO ARCHITECTURAL PLANS FOR LOCATION.
- INDICATES EXISTING WALL TO REMAIN
- AREA NOT IN CONTRACT FOR SCOPE OF WORK



10/17/2025 2:38:48
Autodesk Civil 3D (12/18/2025) Adams County 21993005 Adams County Arch, ECA, et al.

PROJECT DATE:	DRAWN BY:	No	DATE	REVISIONS	BY
OCTOBER 1, 2025	CKW	1	10/17/25	ADDENDUM #1	ECA
DESIGNED BY:	ECA				
CHECKED BY:	ECA				



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ADAMS COUNTY ADMINISTRATION BUILDING SITE
AND INTERIOR IMPROVEMENTS

FRIENDSHIP, WI

DEMOLITION- FLOOR PLAN -MAIN LEVEL

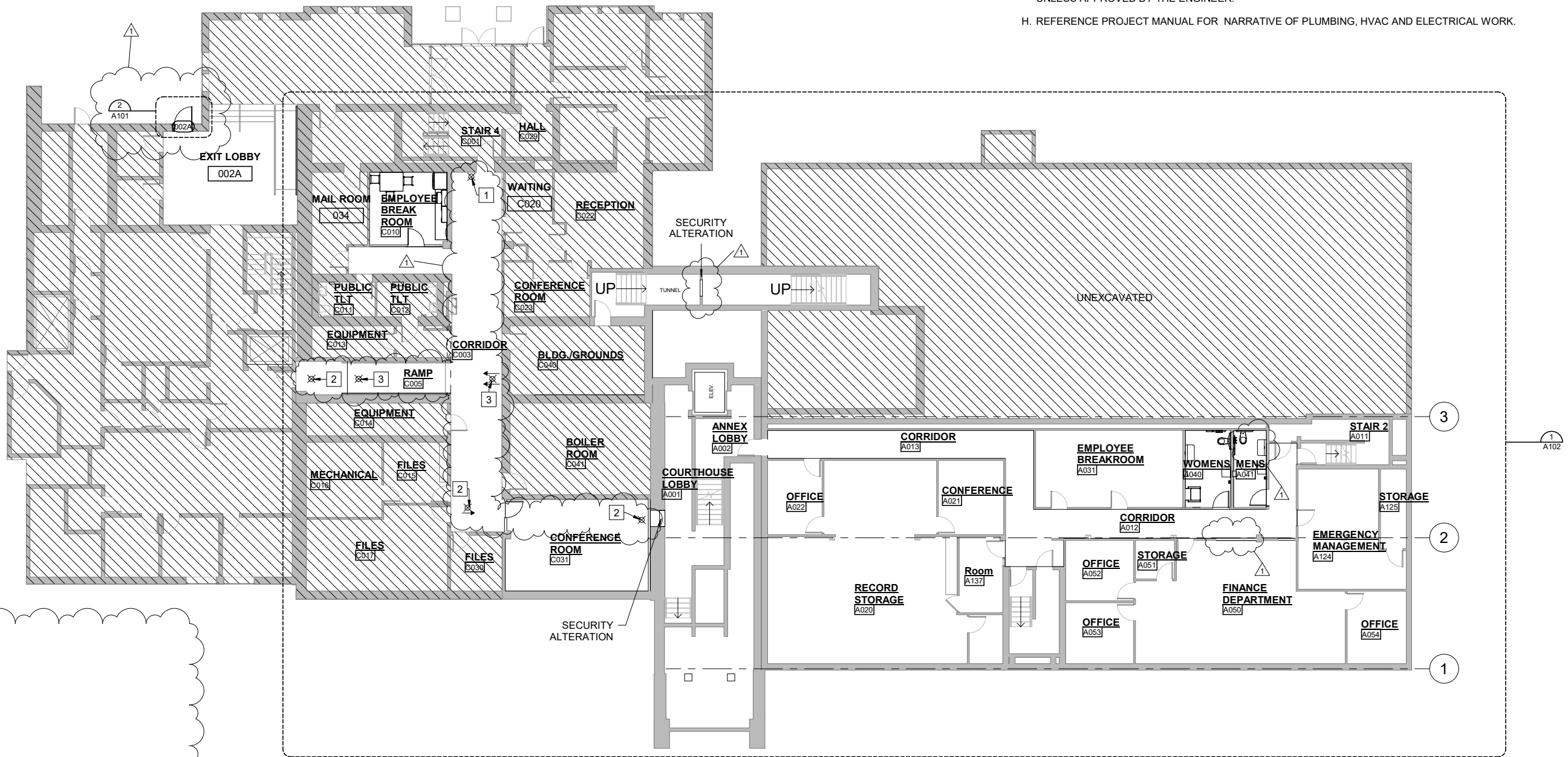
PROJECT NO. 21993005
SHEET AOD102

KEY NOTES #

- 1 EXISTING EXIT SIGN
- 2 EXISTING EXIT SIGN TO BE REMOVED AND RELOCATED
- 3 RELOCATED EXIT SIGN
- 4 EXISTING DOOR TO REMAIN
- 5 NEW EXIT SIGN
- 6 WIDEN OPENING, PATCH-IN METAL STUD/MASONRY CAVITY WALL FOR NEW DOOR- MATCH EXISTING ASSEMBLY AND ADJACENT FINISHES
- 7 RELOCATE FIRE ALRM PULL STATION AND CONTROL ACCESS COMPONENTS

GENERAL NOTES

- SEE PROJECT MANUAL FOR ALL PROJECT ALTERNATES
- ALL DIMENSIONING IS TO FACE OF STUD, FRAMING OR CONCRETE.
- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.
- THE CONTRACT DOCUMENTS CONSIST OF THE SPECIFICATION MANUAL AND DRAWINGS WHICH ARE INTENDED TO BE COMPLEMENTARY AND TO BE USED IN CONJUNCTION WITH ONE ANOTHER.
- IF DISCREPANCIES OCCUR BETWEEN THE SPECIFICATION MANUAL AND THE DRAWINGS, NOTIFY THE ARCHITECT FOR A RESOLUTION.
- CONTRACTOR TO COORDINATE STRUCTURAL, ARCHITECTURAL, HVAC, AND PLUMBING FOR DETAILS, DIMENSIONS, ELEVATIONS, OPENINGS, INSERTS, ETC. NOTIFY ARCHITECT OF ANY VARIANCE BEFORE COMMENCING CONSTRUCTION.
- IN NO CASE SHALL STRUCTURAL ALTERATIONS OR WORK AFFECTING A STRUCTURAL MEMBER BE MADE, UNLESS APPROVED BY THE ENGINEER.
- REFERENCE PROJECT MANUAL FOR NARRATIVE OF PLUMBING, HVAC AND ELECTRICAL WORK.



2 ENLARGED PARTIAL PLAN - DOOR 002A

A101 1/4" = 1'-0"

1 FLOOR PLAN - GROUND LEVEL OVERALL

A101 3/32" = 1'-0"

NORTH

PLOT DATE: 10/17/2025 2:38:48
Adams County Administration Building Site, A101.dwg
Adams County Administration Building Site, A101.dwg

PROJECT DATE:	DRAWN BY:	CKW	No	DATE	REVISIONS	BY
OCTOBER 1, 2025	DESIGNED BY:	ECA	1	10/17/25	ADDENDUM #1	ECA
	CHECKED BY:	ECA				



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ADAMS COUNTY ADMINISTRATION BUILDING SITE AND INTERIOR IMPROVEMENTS FRIENDSHIP, WI		FLOOR PLAN - GROUND LEVEL OVERALL		PROJECT NO. 21993005
				SHEET A101

KEY NOTES

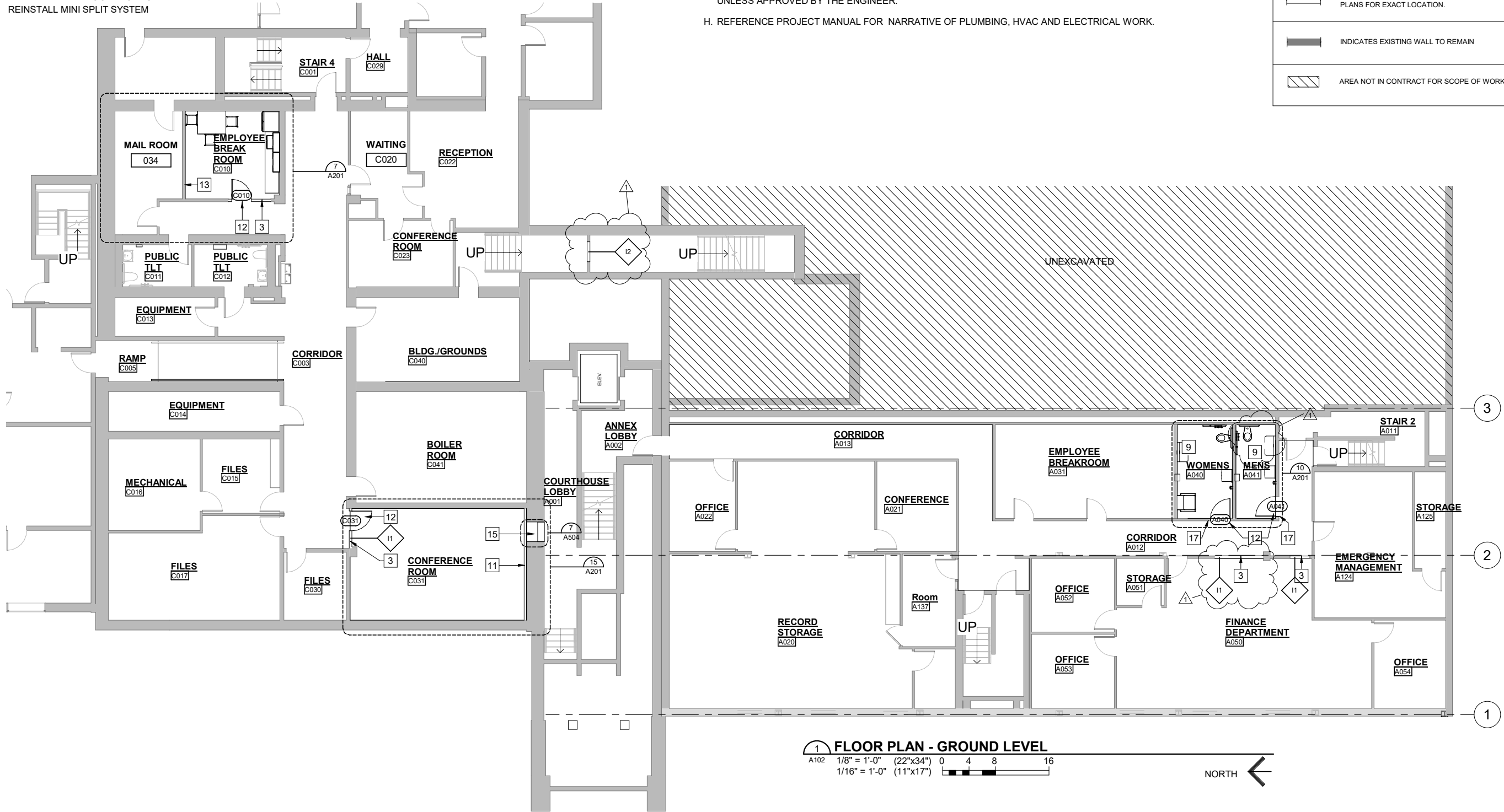
- 1 NEW SAFE WALL CONTRUCTION - UL BALLISITCS RATING 4
2 NEW BULLET PROOF RATED DOOR - UL BALLISITCS RATING 4
3 NEW WALL WITH 5/8" GYP BOARD AND PAINT FINISH, SIMILAR TO I1 WALL TYPE - MATCH EXISTING THICKNESS
4 NEW ADA COMPLIANT CHECK-IN DESK
5 MASONRY INFILL
6 NEW SAFE WINDOW - UL BALLISTICS RATING 4
7 NEW DOOR HARDWARE TO EXISTING DOORS
8 NEW WOOD TRIM AT EXISTING OPENING - SEE INTERIOR ELEVATION 3/A202
9 NEW TOILET ROOMS AND PLUMBING FIXTURES RECONFIGURED TO MEET ADA
10 NOT USED
11 FURR OUT EXISTING WALL WITH 5/8" GYP BOARD FINISH AND PAINT - SEE FINISH SCHEDULE
12 NEW CONSTRUCTION DOOR
13 NEW ELECTRICAL OUTLETS TO WALL - SEE ELEVATION
15 FILL EXISTING OPENING, MATCH EXISTING FINISHES WITH 2 HOUR FIRE RATING
16 4' HIGH CORNER GUARD
17 REINSTALL RESTROOM SIGNAGE
18 REINSTALL MINI SPLIT SYSTEM

GENERAL NOTES

- A. SEE PROJECT MANUAL FOR ALL PROJECT ALTERNATES
B. ALL DIMENSIONING IS TO FACE OF STUD, FRAMING OR CONCRETE.
C. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.
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H. REFERENCE PROJECT MANUAL FOR NARRATIVE OF PLUMBING, HVAC AND ELECTRICAL WORK.

FLOOR PLAN LEGEND:

- INDICATES NEW DOOR CONSTRUCTION
INDICATES EXISTING DOOR, EXISTING HARDWARE AND FRAME TO REMAIN.
INDICATES NEW SAFE WALL CONSTRUCTION - UL BALLISTICS RATING LEVEL 4
INDICATES SAFE WALL CONSTRUCTION TO AN EXISTING WALL - UL BALLISTICS RATING LEVEL 4
INDICATES NEW CONSTRUCTION WALL. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION.
INDICATES EXISTING WALL TO REMAIN
AREA NOT IN CONTRACT FOR SCOPE OF WORK



10/17/2025 2:34:48
Adams County Administration Building Site and Interior Improvements
PLOT DATE: 10/17/2025 2:34:48

PROJECT DATE:	DRAWN BY:	No	DATE	REVISIONS	BY
OCTOBER 1, 2025	CKW	1	10/17/25	ADDENDUM #1	ECA
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ADAMS COUNTY ADMINISTRATION BUILDING SITE
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FRIENDSHIP, WI

FLOOR PLAN - GROUND LEVEL

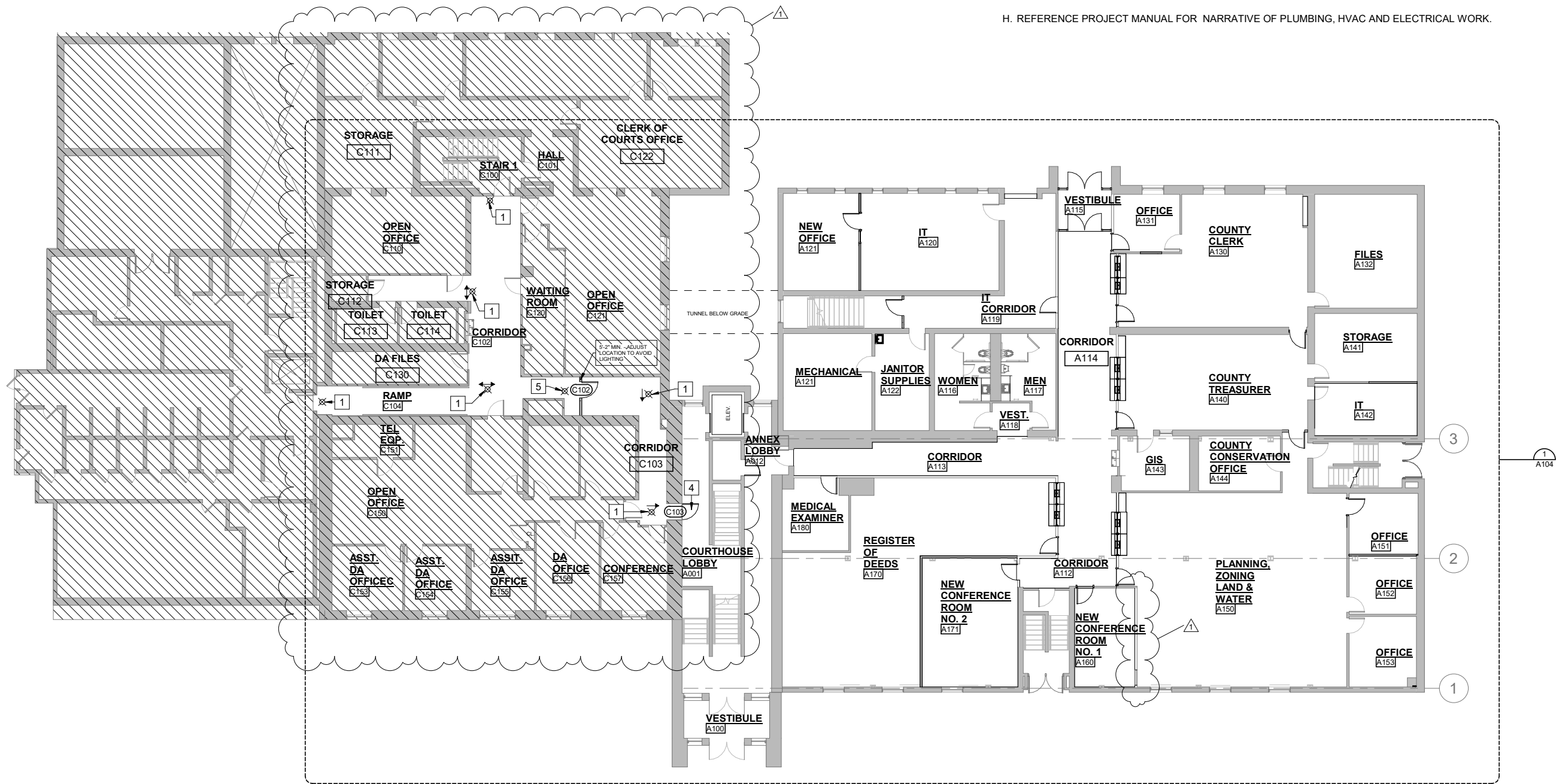
PROJECT NO.
21993005
SHEET
A102

KEY NOTES #

- EXISTING EXIT SIGN
- EXISTING EXIT SIGN TO BE REMOVED AND RELOCATED
- RELOCATED EXIT SIGN
- EXISTING DOOR TO REMAIN
- NEW EXIT SIGN
- WIDEN OPENING, PATCH-IN METAL STUD/MASONRY CAVITY WALL FOR NEW DOOR- MATCH EXISTING ASSEMBLY AND ADJACENT FINISHES
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GENERAL NOTES

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1 FLOOR PLAN - MAIN LEVEL OVERALL

A103 3/32" = 1'-0"



10/17/2025 2:34:48 PM - Autodesk Docs (12/18/2025) Adams County 21993005 Adams County Arch, Revit, R214.rvt

PROJECT DATE:	DRAWN BY:	No	DATE	REVISIONS	BY
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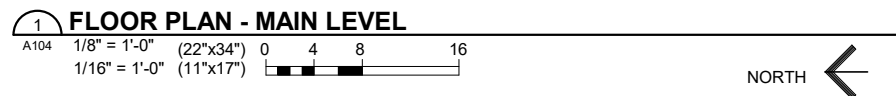
FLOOR PLAN - MAIN LEVEL OVERALL

PROJECT NO.
21993005
SHEET
A103

- 1 NEW SAFE WALL CONSTRUCTION - UL BALLISTICS RATING 4
- 2 NEW BULLET PROOF RATED DOOR - UL BALLISTICS RATING 4
- 3 NEW WALL WITH 5/8" GYP BOARD AND PAINT FINISH, SIMILAR TO I1 WALL TYPE
- MATCH EXISTING THICKNESS
- 4 NEW ADA COMPLIANT CHECK-IN DESK
- 5 MASONRY INFILL
- 6 NEW SAFE WINDOW - UL BALLISTICS RATING 4
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- 8 NEW WOOD TRIM AT EXISTING OPENING - SEE INTERIOR ELEVATION 3/A202
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- 10 NOT USED
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FINISH SCHEDULE
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- 15 FILL EXISTING OPENING, MATCH EXISTING FINISHES WITH 2 HOUR FIRE
RATING
- 16 4' HIGH CORNER GUARD
- 17 REINSTALL RESTROOM SIGNAGE
- 18 REINSTALL MINI SPLIT SYSTEM

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	INDICATES NEW DOOR CONSTRUCTION
	INDICATES EXISTING DOOR, EXISTING HARDWARE AND FRAME TO REMAIN.
	INDICATES NEW SAFE WALL CONSTRUCTION - UL BALLISTICS RATING LEVEL 4
	INDICATES SAFE WALL CONSTRUCTION TO AN EXISTING WALL - UL BALLISTICS RATING LEVEL 4
	INDICATES NEW CONSTRUCTION WALL. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION.
	INDICATES EXISTING WALL TO REMAIN
	AREA NOT IN CONTRACT FOR SCOPE OF WORK



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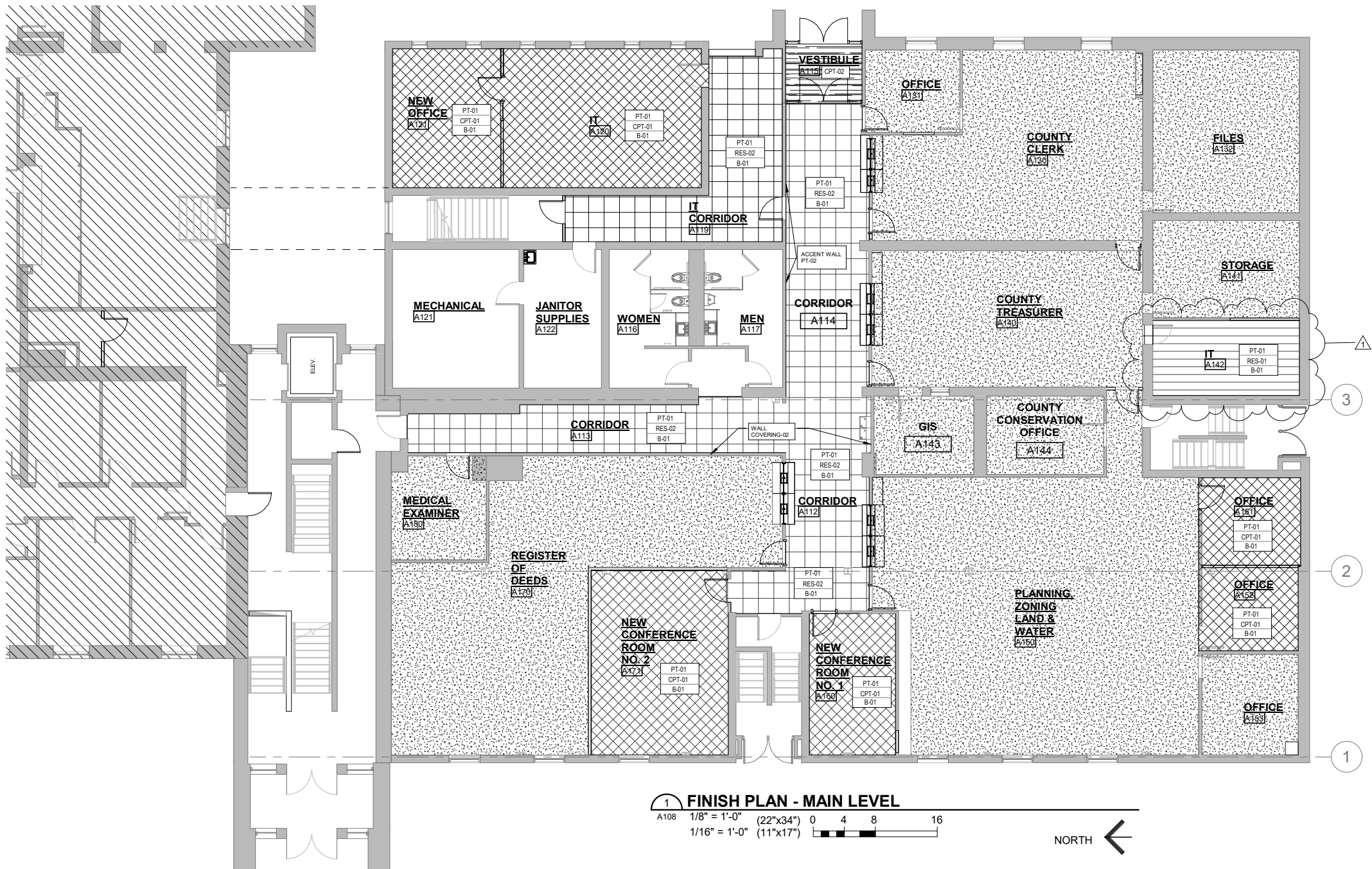
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PROJECT NO.
21993005

SHEET
A104

FINISH PLAN LEGEND:		 ALTERNATE NO. 2 - ADDITIONAL CARPET REPLACEMENT
 RES-01 SHAWCONTRACT NATIVE ORIGINS LVP		PCT-012 PORCELAIN CERAMIC WALL TILE - DAL TILE MULTITUDE ORIGAMI WHITE
 RES-02 NEW SOLID VINYL TILE PATCRAFT SOLID VINYL ADMIX 36"x36" 1347V18" (AT CORRIDOR 114 PROVIDE 18" WIDE BORDER OF PATCRAFT 18"x16" 1508V). ALL COLORS AS SELECTED BY OWNER		PT-01 SHERWIN WILLIAMS "SNOWBOUND WHITE" PAINT WITH EGGSHELL FINISH
 CPT-01 PATCRAFT MATERIAL PARADOX CARPET TILE FLOORING		PT-02 SHERWIN WILLIAMS "SMOKEY BLUE" PAINT WITH EGGSHELL FINISH
 CPT-02 PATCRAFT WALK - OFF CARPET TILE FLOORING		WC-01, 02 WALL COVERING
 PCT-01 PORCELAIN CERAMIC FLOOR TILE - DAL TILE SYNCHRONIC GREY		B-01 4" DARK GREY VINYL WALL BASE
		B-02 4" CERAMIC BASE INTEGRAL TO CERAMIC WALL
		 AREA NOT IN CONTRACT FOR SCOPE OF WORK



1 FINISH PLAN - MAIN LEVEL

A108 1/8" = 1'-0" (22"x34") 0 4 8 16
1/16" = 1'-0" (11"x17")

NORTH



PLOT DATE: 10/17/2025 2:38:48
Adams County Administration Building Site
Adams County Administration Building Site

PROJECT DATE:	DRAWN BY:	No	DATE	REVISIONS	BY
OCTOBER 1, 2025	CKW	1	10/17/25	ADDENDUM #1	ECA
	DESIGNED BY:				
	CHECKED BY:				



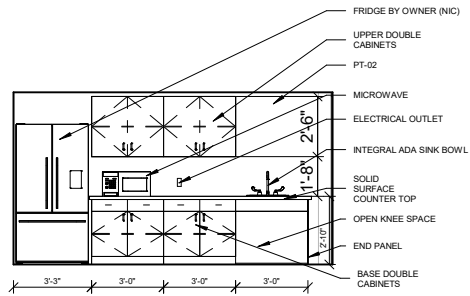
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FRIENDSHIP, WI

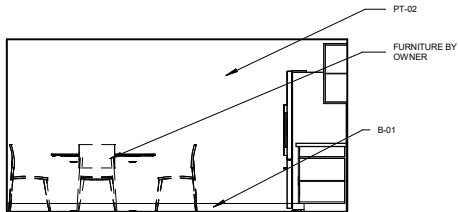
FLOOR FINISH PLAN - MAIN LEVEL

PROJECT NO.
21993005
SHEET
A108

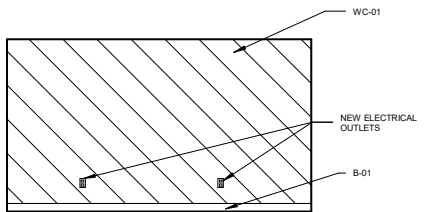
PLOT DATE: 10/17/2025 2:38:48
Adams County 12/19/2025 Adams County 12/19/2025 Adams County 12/19/2025



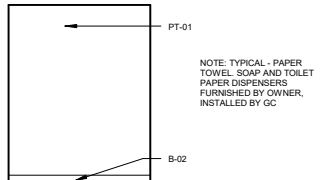
1 BREAK ROOM - SOUTH ELEVATION
A201 1/4" = 1'-0" (22"x34")
1/8" = 1'-0" (11"x17")



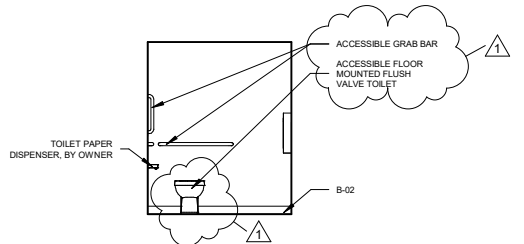
2 BREAK ROOM - EAST ELEVATION
A201 1/4" = 1'-0" (22"x34")
1/8" = 1'-0" (11"x17")



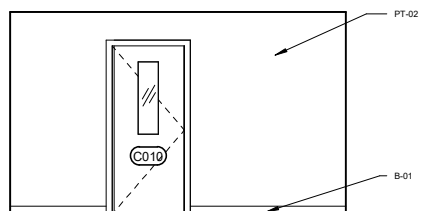
3 BREAK ROOM - NORTH ELEVATION
A201 1/4" = 1'-0" (22"x34")
1/8" = 1'-0" (11"x17")



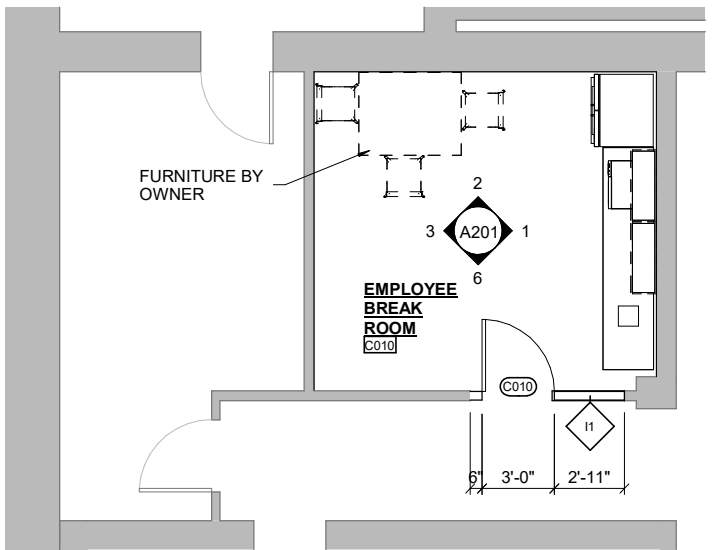
4 MEN'S BATHROOM A041 - WEST ELEVATION
A201 1/4" = 1'-0" (22"x34")
1/8" = 1'-0" (11"x17")



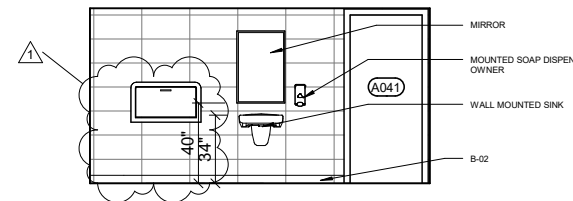
5 MEN'S BATHROOM A041 - EAST ELEVATION
A201 1/4" = 1'-0" (22"x34")
1/8" = 1'-0" (11"x17")



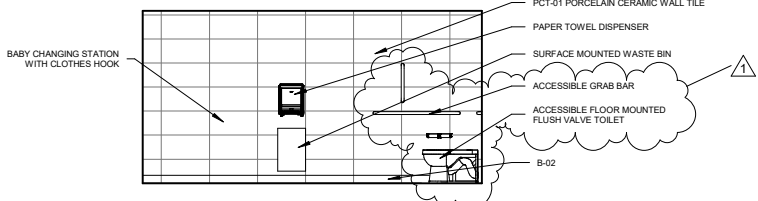
6 BREAK ROOM - WEST ELEVATION
A201 1/4" = 1'-0" (22"x34")
1/8" = 1'-0" (11"x17")



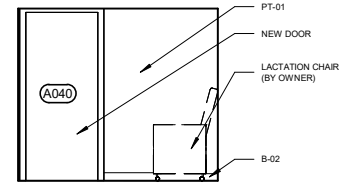
7 ENLARGED GROUND LEVEL FLOOR PLAN - EMPLOYEE BREAK ROOM
A201 1/4" = 1'-0" (22"x34")
1/8" = 1'-0" (11"x17")



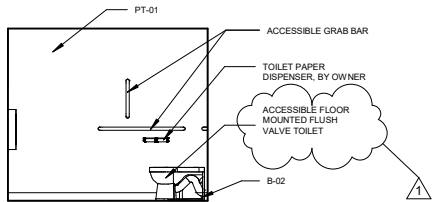
8 MEN'S BATHROOM A041 - NORTH ELEVATION
A201 1/4" = 1'-0" (22"x34")
1/8" = 1'-0" (11"x17")



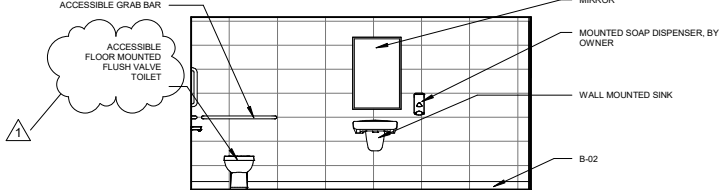
9 MEN'S BATHROOM A041 - SOUTH ELEVATION
A201 1/4" = 1'-0" (22"x34")
1/8" = 1'-0" (11"x17")



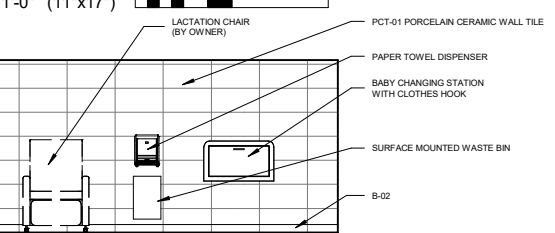
11 WOMEN'S BATHROOM A040 - WEST ELEVATION
A201 1/4" = 1'-0" (22"x34")
1/8" = 1'-0" (11"x17")



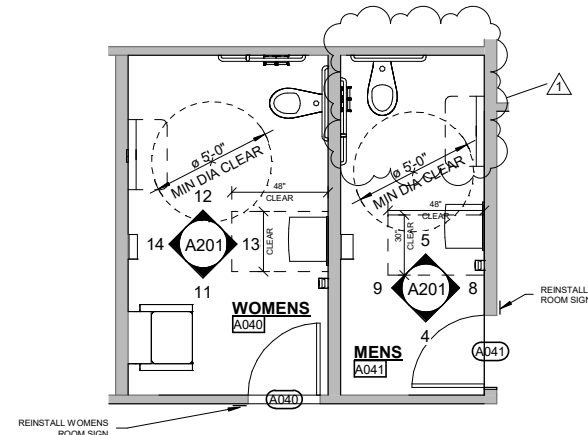
12 WOMEN'S BATHROOM A040 - EAST ELEVATION
A201 1/4" = 1'-0" (22"x34")
1/8" = 1'-0" (11"x17")



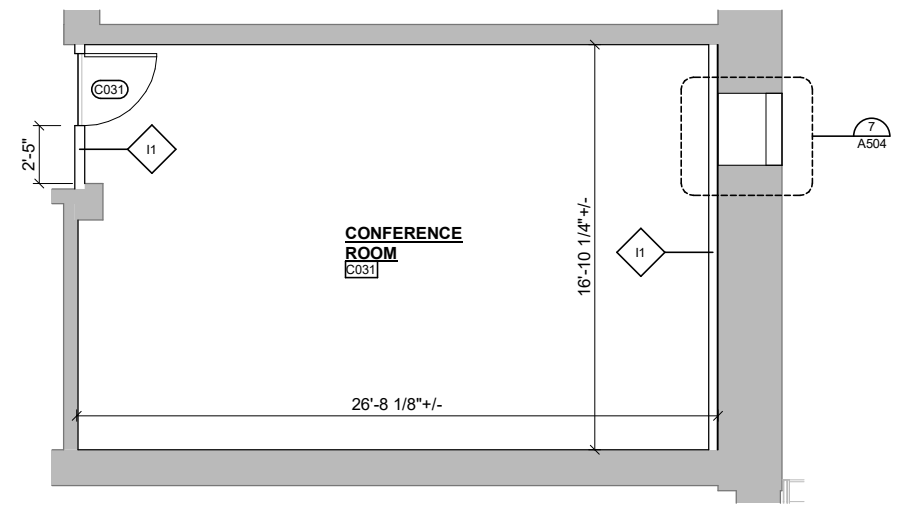
13 WOMEN'S BATHROOM A040 - SOUTH ELEVATION
A201 1/4" = 1'-0" (22"x34")
1/8" = 1'-0" (11"x17")



14 WOMEN'S BATHROOM A040 - NORTH ELEVATION
A201 1/4" = 1'-0" (22"x34")
1/8" = 1'-0" (11"x17")



10 ENLARGED GROUND LEVEL FLOOR PLAN - ADA BATHROOMS
A201 1/4" = 1'-0" (22"x34")
1/8" = 1'-0" (11"x17")



15 ENLARGED GROUND LEVEL FLOOR PLAN - CONFERENCE ROOM
A201 1/4" = 1'-0" (22"x34")
1/8" = 1'-0" (11"x17")

PROJECT DATE:	OCTOBER 1, 2025	DRAWN BY:	CKW	No	1	DATE	10/17/25	REVISIONS	ADDENDUM #1	BY	ECA
DESIGNED BY:	ECA	CHECKED BY:	ECA								

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**ADAMS COUNTY ADMINISTRATION BUILDING SITE
AND INTERIOR IMPROVEMENTS**
FRIENDSHIP, WI

PROJECT NO.	21993005
SHEET	A201

10/17/2025 2:38:48
PLOT DATE: Adams County 12/19/2025 Adams County 21993005 Adams County Arch. S&L 04

DOOR SCHEDULE

GENERAL NOTES

A. NEW BULLET RESISTANT DOOR UL BALLISTICS RATING 4 WHERE INDICATED.

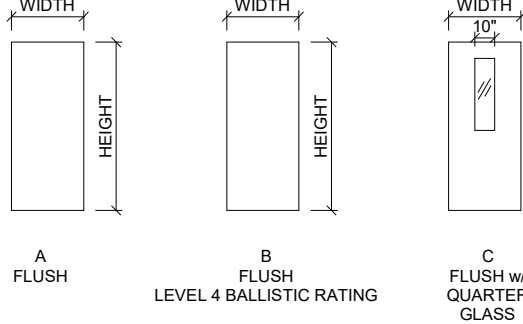
REMARKS

1. NEW BULLET RESISTANT DOOR UL BALLISTICS RATING 4
2. EXISTING DOORS REMAIN WITH NEW HARDWARE SET

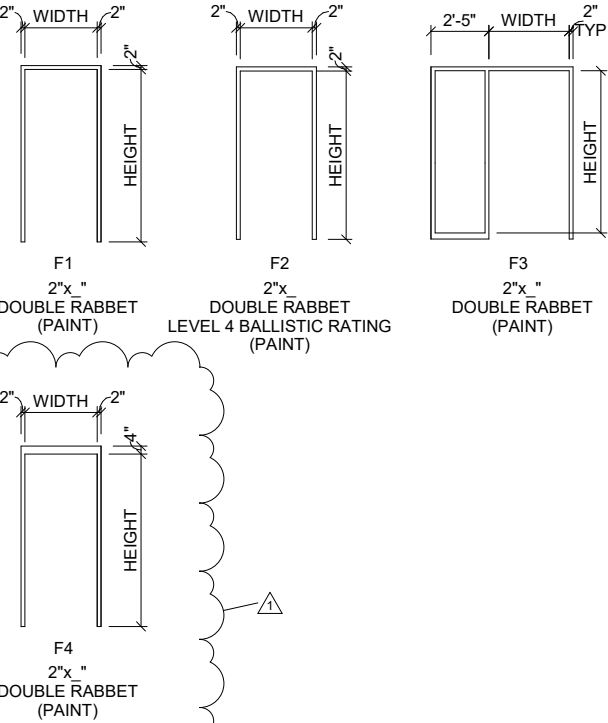
SCHEDULE

OPENING No	DOOR					FRAME					HW SET	GLASS TYPE	FIRE RATING	REMARKS
	TYPE	MAT'L	NOMINAL SIZE			TYPE	MAT'L	DETAILS						
			WIDTH	HEIGHT	THICKNESS			HEAD	JAMB	SILL				
002A	A	HM	4' - 0"	7' - 0"	1 3/4"	F4	HM	—	—	—	6	—	—	—
A040	A	WD	3' - 0"	7' - 0"	1 3/4"	F1	HM	5/A502	7/A502	—	2	—	—	—
A041	A	WD	3' - 0"	7' - 0"	1 3/4"	F1	HM	5/A502	7/A502	—	2	—	—	—
A115	EXIST. REMAIN	—	6' - 2 3/8"	7' - 0"	—	—	—	—	—	—	3	—	—	2
A115A	EXIST. REMAIN	—	6' - 2 3/8"	7' - 0"	—	—	—	—	—	—	3	—	—	2
A119	B	WD	3' - 0"	7' - 0"	1 3/4"	F2	HM	6/A502	6/A502	—	1	—	—	1
A119A	A	WD	3' - 0"	7' - 0"	1 3/4"	F1	HM	5/A502	7/A502	—	5	—	—	—
A120	A	WD	3' - 0"	7' - 0"	1 3/4"	F3	HM	5/A502	7/A502	—	5	A	—	—
A130A	B	WD	3' - 0"	7' - 0"	1 3/4"	F2	HM	6/A502	6/A502	—	1	—	—	1
A131	B	WD	3' - 0"	7' - 0"	1 3/4"	F2	HM	6/A502	6/A502	—	1	—	—	1
A131B	A	WD	3' - 0"	7' - 0"	1 3/4"	F1	HM	5/A502	7/A502	—	5	—	—	—
A140A	B	WD	3' - 0"	7' - 0"	1 3/4"	F2	HM	6/A502	6/A502	—	1	—	—	1
A140B	A	WD	3' - 0"	7' - 0"	1 3/4"	F1	HM	5/A502	7/A502	—	5	—	—	—
A150	B	WD	3' - 0"	7' - 0"	1 3/4"	F2	HM	6/A502	6/A502	—	1	—	—	1
A151	A	WD	3' - 0"	7' - 0"	1 3/4"	F1	HM	5/A502	7/A502	—	5	—	—	—
A160	B	WD	3' - 0"	7' - 0"	1 3/4"	F2	HM	6/A502	6/A502	—	1	—	—	1
A170	B	WD	3' - 0"	7' - 0"	1 3/4"	F2	HM	6/A502	6/A502	—	1	—	—	1
A171	B	WD	3' - 0"	7' - 0"	1 3/4"	F2	HM	6/A502	6/A502	—	4	—	—	1
A180	B	WD	3' - 0"	7' - 0"	1 3/4"	F2	HM	6/A502	6/A502	—	1	—	—	1
C010	C	WD	3' - 0"	7' - 0"	1 3/4"	F1	HM	5/A502	7/A502	—	5	A	—	—
C031	A	WD	3' - 0"	7' - 0"	1 3/4"	F1	HM	5/A502	6/A502	—	5	—	—	—
C102	A	WD	3' - 0"	7' - 0"	1 3/4"	F1	HM	5/A502	6/A502	—	8	—	—	—
C103	EXIST. REMAIN	—	3' - 0"	7' - 0"	1 3/4"	—	—	—	—	—	7	—	—	2

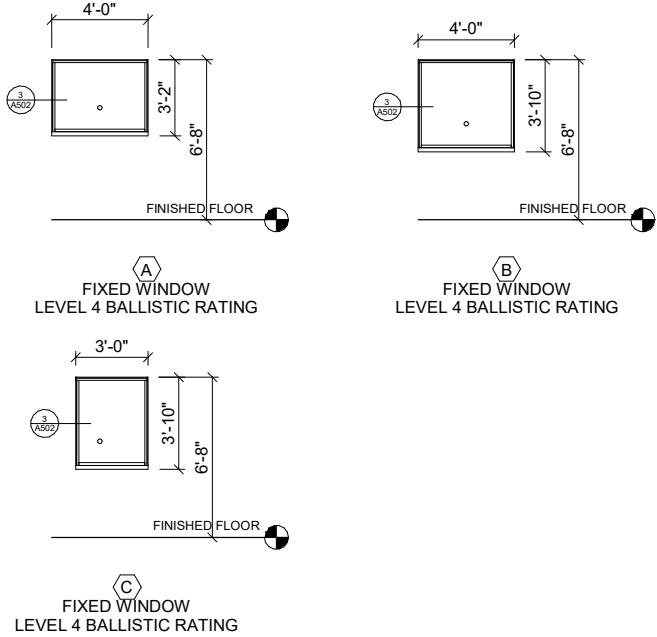
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