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CIVIL ENGINEER / LANDSCAPE ARCHITECT / SURVEYOR
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CONTACT INFORMATION

CLIENT / OWNER / OPERATOR
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HO-CHUNK TRANSPORTATION AUTHORITY
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TOMAH, WI 54660
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CONTACT INFORMATION

HHCA OFFICE BUILDING - PARKING (HTA25-4)

TOMAH, WI

CONSTRUCTION PLANS



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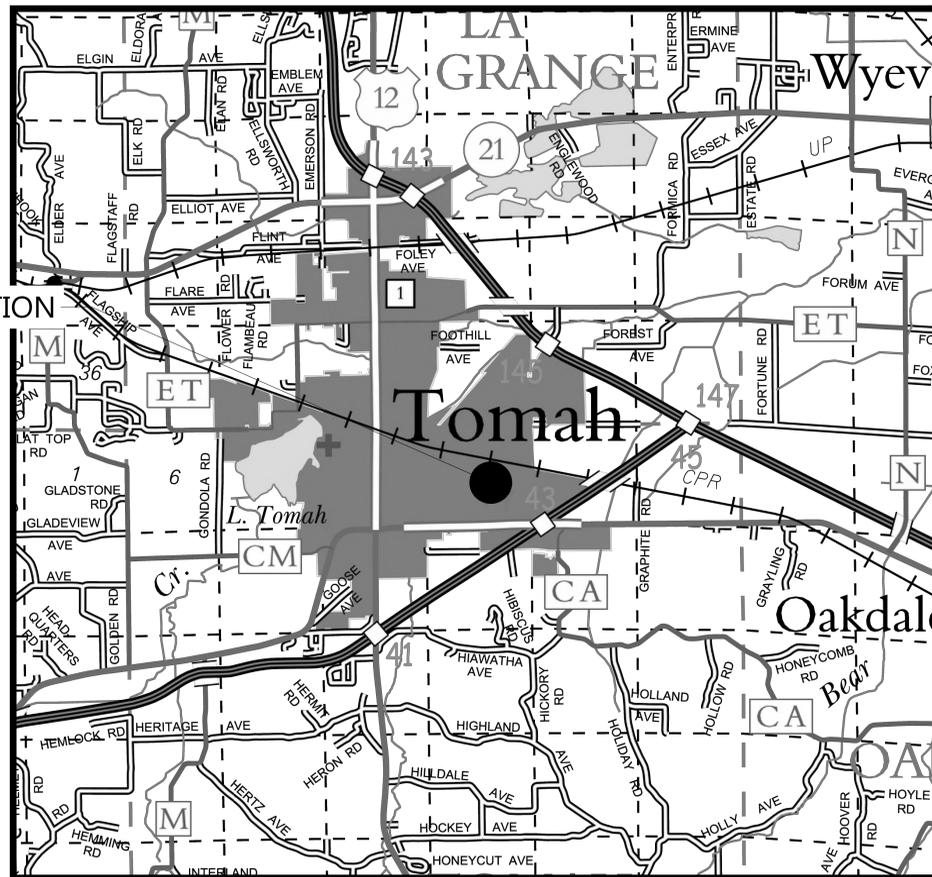


HO-CHUNK NATION
TRANSPORTATION
AUTHORITY
28902 HIGHWAY 21
TOMAH, WI 54660
608.374.3950

SHEET INDEX

SHEET NO.	DESCRIPTION
C0.0	TITLE SHEET
C1.0	STATEMENT OF ESTIMATED QUANTITIES / EXISTING AERIAL
C1.1	EXISTING CONDITIONS / REMOVALS PLAN
C2.0	SITE PLAN
C3.0	GRADING, DRAINAGE, AND EROSION CONTROL PLAN
C4.0 - C4.1	CIVIL DETAILS

PROJECT LOCATION



VICINITY MAP
(NO SCALE)

PROJECT LOCATION



AERIAL MAP
1"=40'



STATE OF WISCONSIN

MONROE COUNTY

NOTE:
1. THESE PLANS AND/OR SPECIFICATIONS WERE PREPARED FOR THIS PROJECT ONLY. ANY RE-USE OF THIS WORK FOR OTHER PROJECTS IS NOT AUTHORIZED BY THE DESIGNER.
2. THE PERSON, AGENCY OR CORPORATION USING THESE PLANS AND/OR SPECIFICATIONS WILL BE HELD LIABLE FOR ANY DUPLICATION OF THIS WORK FOR OTHER PROJECTS.
3. THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO GUIDELINES OF C/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA".

HHCA OFFICE BUILDING - PARKING
(HTA25-4)
1116 EAST MONOWAU STREET, TOMAH, WI 54660

CERTIFICATION
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Wisconsin.

Signature Name: KEVIN LOHFF
Print Name: KEVIN LOHFF
Date: 02-13-2026 Lic. No.: 44358-6

ISSUE RECORD
NO. DATE DESCRIPTION
0 02-13-2026 CONSTRUCTION PLANS

PROJECT INFO
DRAWN: N. SCHAUFENBUEL/PS
DESIGNED: N. SCHAUFENBUEL/PS
CHECKED: P. SCHROEDER/K. LOHFF
PROJECT NO: 19595.00

SHEET TITLE
TITLE SHEET

SHEET
C0.0

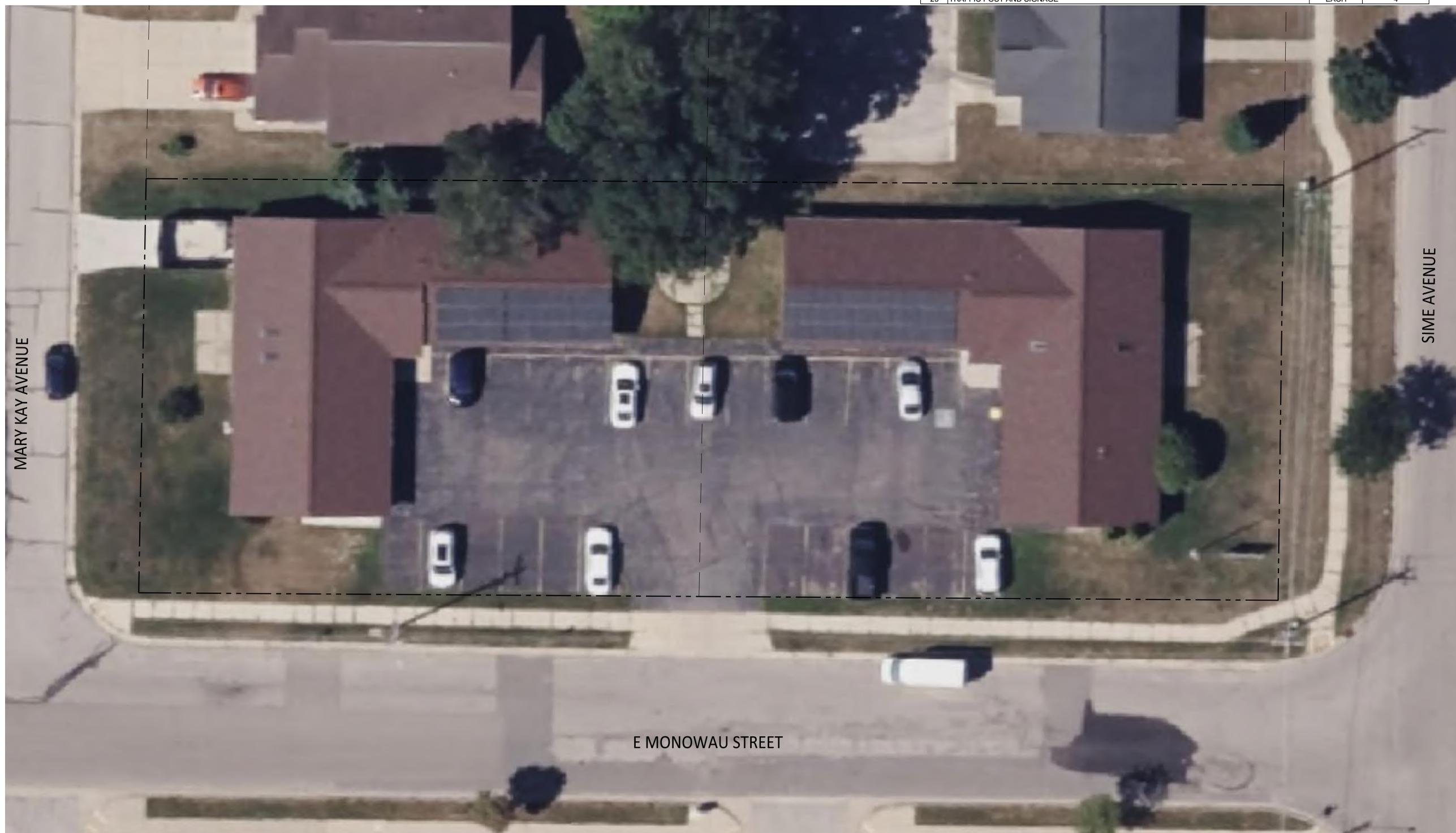
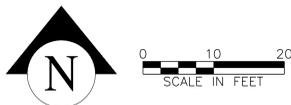


02-13-2026
STAMP AND SIGNATURE

HHCA OFFICE BUILDING - PARKING (HTA25-4)

STATEMENT OF ESTIMATED QUANTITIES

LINE ITEM	ITEM DESCRIPTION	UNIT	TOTAL ESTIMATED QUANTITIES
1	PERMITTING	LUMP SUM	1
2	CONSTRUCTION SURVEY STAKING	LUMP SUM	1
3	MOBILIZATION	LUMP SUM	1
4	SAMPLING AND TESTING	LUMP SUM	1
5	TEMPORARY FACILITIES AND TRAFFIC CONTROL	LUMP SUM	1
6	UTILITY LOCATES AND COORDINATION	LUMP SUM	1
7	SAWCUT PAVEMENT	LIN FT	282
8	REMOVE ASPHALT PAVEMENT	SQ YD	1115
9	REMOVE CONCRETE PAVEMENT	SQ YD	345
10	REMOVE CONCRETE CURB AND GUTTER	LIN FT	200
11	REMOVE MISCELLANEOUS ITEMS	LUMP SUM	1
12	EROSION CONTROL - TEMPORARY INLET PROTECTION	EACH	2
13	EROSION CONTROL - TEMPORARY BIOLOGS	LIN FT	670
14	EROSION CONTROL - PERMANENT SURFACE (SOD)	SQ YD	372
15	EARTHWORK	LUMP SUM	1
16	BITUMINOUS PAVEMENT - 3.5" BITUMINOUS/TACK COAT INCLUDING 8" AGGREGATE BASE	SQ YD	1143
17	CONCRETE CURB AND GUTTER - 24" TYPE D INCLUDING 4" AGGREGATE BASE	LIN FT	200
18	CONCRETE WALK - 4" CONCRETE INCLUDING 4" AGGREGATE BASE	SQ FT	640
19	CONCRETE PAVEMENT - 6" CONCRETE INCLUDING 4" AGGREGATE BASE	SQ FT	2615
20	CONCRETE DRIVEWAY - 6" CONCRETE INCLUDING 4" AGGREGATE BASE	SQ FT	4065
21	PAVEMENT MARKING STRIPING - PAINTED, 4" WIDE SOLID	LIN FT	1245
22	PAVEMENT MARKING SYMBOLS/MESSAGE - PAINTED	EACH	7
23	TRAFFIC POST AND SIGNAGE	EACH	4



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PROJECT
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 (HTA25-4)**
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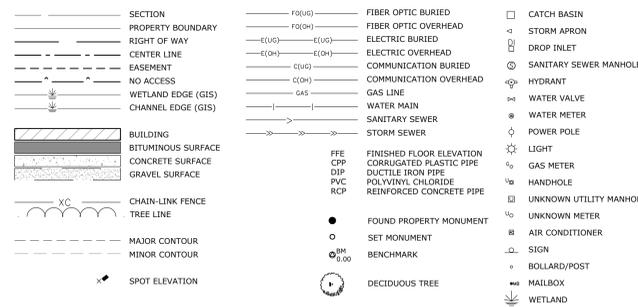
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SHEET
C1.0

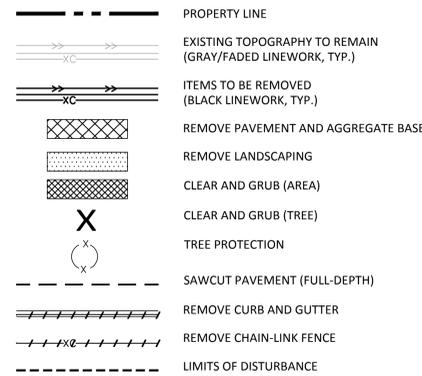
SURVEY SUMMARY

PARCEL NUMBER: 286-00515-0000
 LEGAL DESCRIPTION: CAROL'S ADDITION TO J.J. FARMER'S SUBDIVISION LOTS 1 & 18
 PROPERTY ADDRESS: 1102 E MONOWAU STREET TOMAH, WI 54660
 PROPERTY AREA: 0.685 AC (29,840 SF)
 PROPERTY OWNER: HO-CHUNK HOUSING & COMMUNITY DEVELOPMENT AGENCY
 EXISTING ZONING: B-1 - OFFICE BUSINESS DISTRICT
 EXISTING BUILDING TOTAL: 8,700 +/- S.F.
 WEST BUILDING (1-STORY): 4,350 +/- S.F.
 EAST BUILDING (1-STORY): 4,350 +/- S.F.
 EXISTING PARKING: 27 SPACES (INCLUDING 2 AT WEST DRIVEWAY)
 SURVEY CONTROL: WISCONSIN MONROE COUNTY GEOD 12A (NO BENCHMARK)

EXISTING CONDITIONS LEGEND

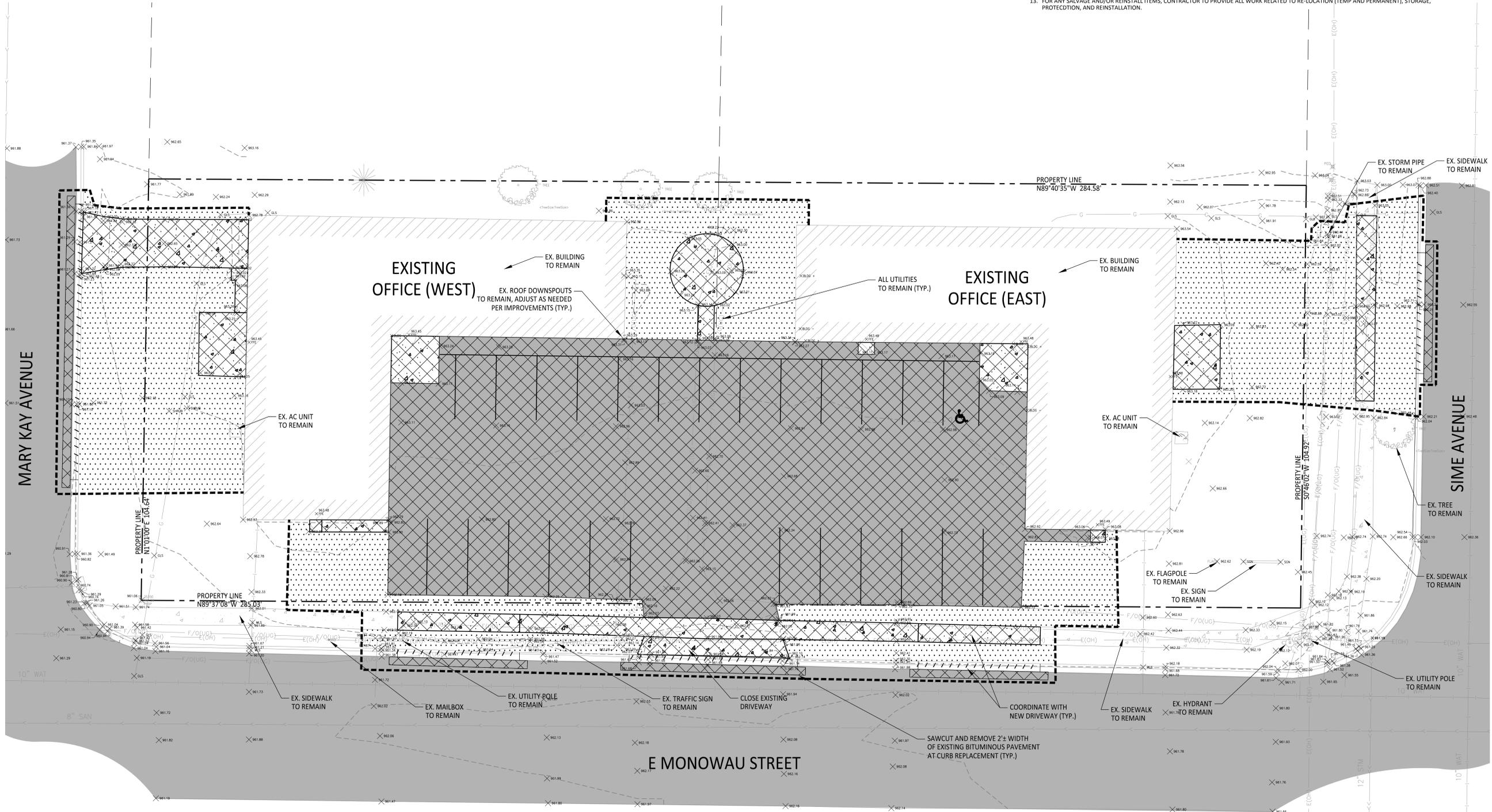


REMOVAL LEGEND



EXISTING CONDITIONS AND SITE REMOVALS NOTES

- EXISTING CONDITIONS AND BOUNDARY BASED ON FIELD AND OFFICE SURVEY INFO BY BOTH HO-CHUNK NATION AND SRF CONSULTING GROUP, DATED FALL 2025. UNDERGROUND UTILITY LOCATION PER DIGGER'S HOTLINE (MAPPING / FIELD MARKINGS) AND CITY GIS MAPPING, AND MAY NOT BE COMPREHENSIVE.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION, AND NOTIFYING THE CIVIL ENGINEER AND OWNER IMMEDIATELY OF ANY DISCREPANCIES. THIS INCLUDES, BUT NOT LIMITED TO, TOPOGRAPHY, ELEVATIONS, UTILITIES, VEGETATION, AND OTHER RELATED ITEMS.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL UTILITY LOCATES. THE CONTRACTOR SHALL SUBMIT A TICKET FOR PUBLIC UTILITY LOCATES 48 HOURS PRIOR TO ANY GRADING, EXCAVATION, OR UTILITY WORK THROUGH "DIGGER'S HOTLINE" AT WWW.DIGGERSHOTLINE.COM, OR CALLING 811. ALONG WITH ANY FOLLOW-UP TO MISSING INFORMATION. THE CONTRACTOR MUST HIRE A PRIVATE UTILITY LOCATING SERVICE TO LOCATE PRIVATE UTILITIES IN THE CONSTRUCTION AREA PRIOR TO ANY EXCAVATION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTOR SHALL PLACE ALL NECESSARY EROSION CONTROL MEASURES REQUIRED TO MAINTAIN SITE STABILITY PRIOR TO EXECUTING ANY SITE REMOVALS AND IMPROVEMENTS. SEE EROSION CONTROL PLAN AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND RELATED DOCUMENTS.
- CONTRACTOR SHALL COORDINATE LIMITS OF REMOVALS WITH PROPOSED IMPROVEMENTS AND FIELD VERIFY CONDITION OF EXISTING APPURTENANCES TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, REPAIRING, OR REPLACING MISCELLANEOUS ITEMS (SUCH AS FENCES, SIGNS, IRRIGATION HEADS, ETC.) THAT MAY BE DAMAGED BY CONSTRUCTION. CONTRACTOR SHALL PROTECT SURFACE AND SUBSURFACE FEATURES NOT NOTED FOR REMOVAL. PROVIDE SAWCUT AT PAVEMENT EDGE REMOVAL. PROVIDE SMOOTH TRANSITION OF ANY REMOVAL OR IMPROVEMENTS AT DISTURBANCE EDGE. HAUL AND DISPOSE OF ALL REMOVAL ITEMS OFF-SITE.
- CONTRACTOR SHALL DEMOLISH AND REMOVE ALL ITEMS ILLUSTRATED ON THE PLANS AND OTHER ITEMS, AS NECESSARY FOR THE PROJECT AND RELATED IMPROVEMENTS. THIS INCLUDES ITEMS SUCH AS BUILDINGS, ACCESSORY STRUCTURES, FOUNDATIONS, PAVEMENTS, DEBRIS, VEGETATION, SUBSURFACE ITEMS (UTILITIES), UNDESIRABLE SOIL, AND OTHER RELATED ITEMS. VERIFY ALL SOIL CORRECTIONS WITH GEOTECH REPORT AND RECOMMENDATIONS, UNLESS NOTED OTHERWISE. HAUL AND DISPOSE OF ALL REMOVAL ITEMS OFF-SITE.
- CONTRACTOR SHALL REMOVE, REPAIR AND/OR RELOCATE EXISTING PRIVATE OR PUBLIC UTILITIES AS NECESSARY, WHETHER STATED ON THE PLANS OR NOT, INCLUDING ANY RELATED PERMITS AND FEES. CONTRACTOR TO COORDINATE AND RECEIVE APPROVAL FOR ACTIVITIES WITH OWNER AND UTILITY COMPANIES BEFORE STARTING WORK.
- CLEAR, GRUB, AND REMOVE ALL TREES/VEGETATION AND STUMPS/ROOTS WITHIN THE CONSTRUCTION LIMITS, OR AS NOTED. STRIP TOPSOIL, STOCKPILE, AND REDISTRIBUTE PER GRADING PLAN.
- TREE PROTECTION FENCING SHALL BE INSTALLED AT THE DRIP LINE OF TREES TO REMAIN, OR AS ILLUSTRATED, WITHIN LIMITS OF DISTURBANCE PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT. NO DETRIMENTAL CONDITIONS TO OCCUR AT TREE PRESERVATION AREAS, SUCH AS STORAGE OF EQUIPMENT/MATERIALS, CHEMICAL WASH, OR EXCAVATION.
- CONTRACTOR SHALL PROVIDE ALL STAGING AND TEMPORARY TRAFFIC CONTROL FOR THE PROJECT, AS APPROVED BY THE OWNER AND GOVERNING AGENCY. PROVIDE MINIMAL DISRUPTION TO ADJACENT PROPERTIES AND STREETS, OR AS DIRECTED BY PROPERTY OWNER.
- CONTRACTOR SHALL PROVIDE TEMPORARY CONDITIONS, SUCH AS CONSTRUCTION TRAILER, TEMPORARY FENCING, AND OTHER SECURITY MEASURES FOR THE LENGTH OF THE ENTIRE PROJECT. CONTRACTOR SHALL ALSO PROVIDE ALL TEMPORARY FACILITY AND ADA ACCESS TO EXISTING BUILDINGS, PUBLIC SIDEWALKS, AND OTHER ITEMS AFFECTED BY THE PROJECT. CONTRACTOR TO SUBMIT A PLAN FOR OWNER/ENGINEER/GOVERNMENTAL APPROVAL.
- ALL CONSTRUCTION PERMITS, APPLICATIONS AND FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS NOTED OTHERWISE.
- FOR ANY SALVAGE AND/OR REINSTALL ITEMS, CONTRACTOR TO PROVIDE ALL WORK RELATED TO RE-LOCATION (TEMP AND PERMANENT), STORAGE, PROTECTION, AND REINSTALLATION.



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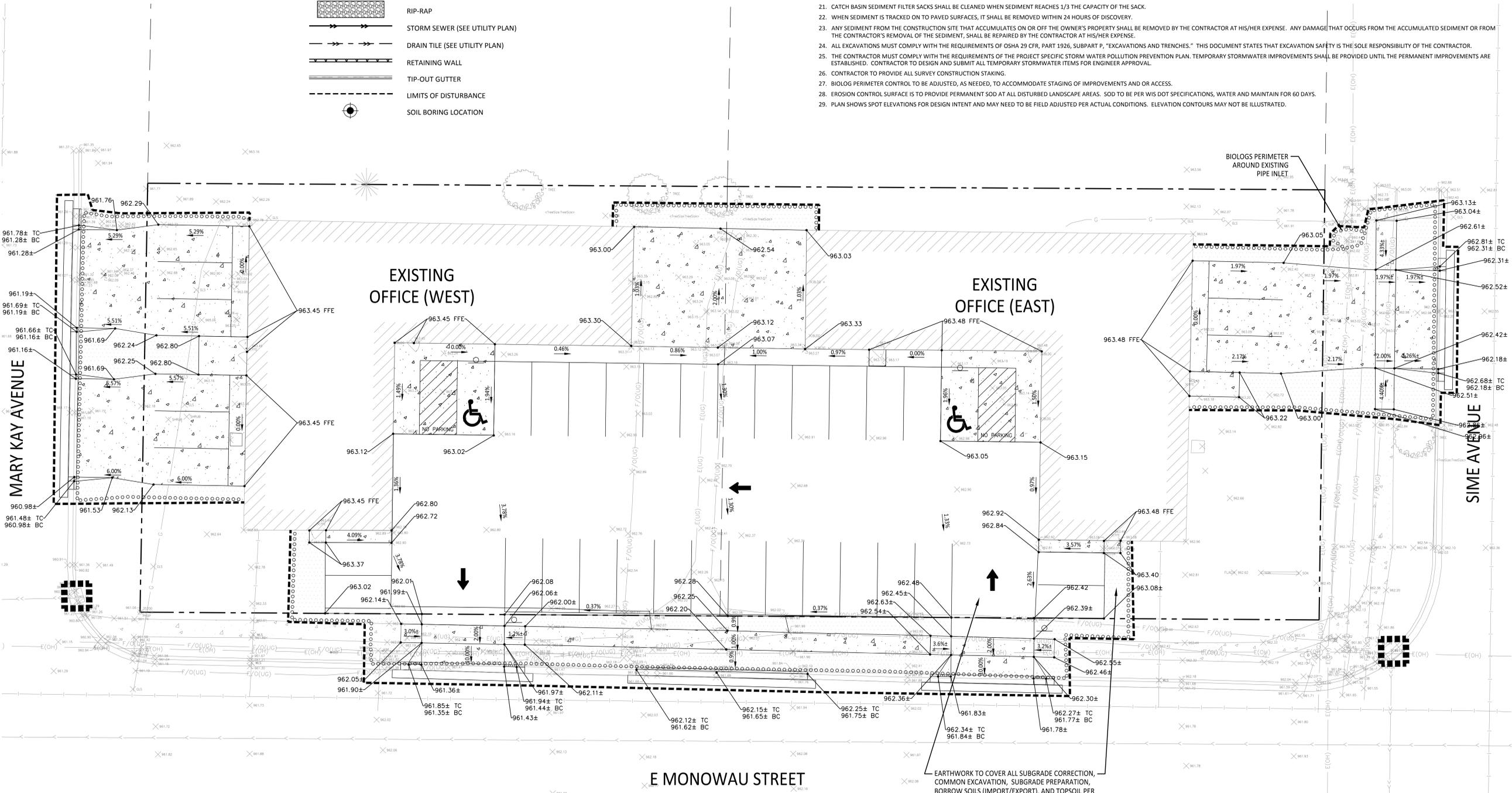
SHEET TITLE
EXISTING CONDITIONS / REMOVALS PLAN
 SHEET
C1.1

GRADING AND EROSION CONTROL LEGEND

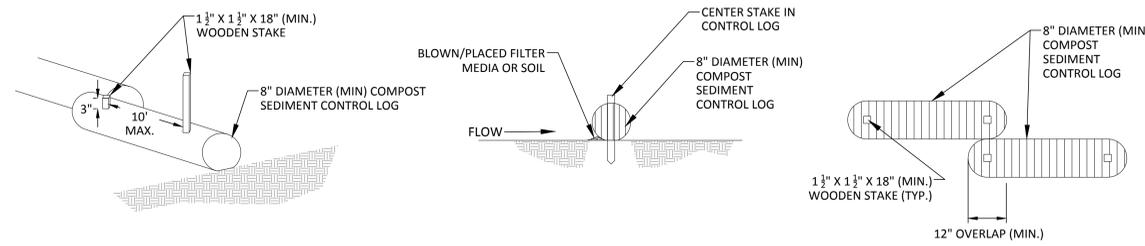
- PROPERTY LINE
- 960 --- PROPOSED CONTOURS (MAJOR)
- 964 --- PROPOSED CONTOURS (MINOR)
- 960 --- EXISTING CONTOURS (MAJOR)
- 964 --- EXISTING CONTOURS (MINOR)
- 813.56 PROPOSED SPOT ELEVATION
TC/BC = TOP OF CURB/BOTTOM OF CURB
GL = GUTTER LINE/BOTTOM OF CURB
HP/LP = HIGH/LOW POINT
± = MATCH EXISTING, FIELD VERIFY
BW/TW = FINISHED GRADE AT LOW/HIGH
SIDE OF WALL (DOES NOT INCLUDE
BURIED WALL OR CAP)
- 944.50 EOF → EMERGENCY OVERFLOW
- 2.0% ← PROPOSED SURFACE SLOPE
- TEMPORARY SILT FENCE
- TEMPORARY BAILE DITCH CHECK
- TEMPORARY BIOROLL
- TEMPORARY INLET PROTECTION
- ROCK CONSTRUCTION ENTRANCE
- EROSION CONTROL - PERMANENT SURFACE (SOD)
- RIP-RAP
- STORM SEWER (SEE UTILITY PLAN)
- DRAIN TILE (SEE UTILITY PLAN)
- RETAINING WALL
- TIP-OUT GUTTER
- LIMITS OF DISTURBANCE
- SOIL BORING LOCATION

GRADING, DRAINAGE, AND EROSION CONTROL NOTES

1. THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF C/ASCE 38-2, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."
2. THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.
3. CONTRACTOR TO PROVIDE ALL WORK AND MATERIALS FOR GRADING, SUBSOIL CORRECTIONS (IMPORT/EXPORT), RETAINING WALLS, TOPSOIL, EROSION CONTROL AND OTHER RELATED ITEMS.
4. SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/FLOW LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
5. ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE MINIMUM OF 4 INCHES OF TOP SOIL AND SOD. THESE AREAS SHALL BE WATERED/MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION IS ESTABLISHED. STRIP, STOCKPILE, AND REDISTRIBUTE EXISTING TOPSOIL, AS SUITABLE.
6. STREETS MUST BE CLEANED AND SWEEPED WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED.
7. DUST SHALL BE ADEQUATELY CONTROLLED.
8. ALL SLOPES 1:3 (V:H) OR GREATER REQUIRED TO RECEIVE SURFACE EROSION CONTROL WHETHER OR NOT IT IS INDICATED ON THE PLAN. MAINTAIN SHEET FLOW AND MINIMIZE RILLS AND/OR GULLIES.
9. ALL STORM DRAINS AND INLETS MUST BE PROTECTED UNTIL ALL SOURCES OF POTENTIAL DISCHARGE ARE STABILIZED.
10. TEMPORARY SOIL STOCKPILES MUST HAVE EFFECTIVE SEDIMENT CONTROL AND CAN NOT BE PLACED IN SURFACE WATERS OR STORM WATER CONVEYANCE SYSTEMS. TEMPORARY STOCKPILES WITHOUT SIGNIFICANT AMOUNT OF SILT, CLAY, OR ORGANIC COMPOUNDS ARE EXEMPT EX. CLEAN AGGREGATE STOCK PILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES.
11. FINAL STABILIZATION REQUIRES THAT ALL SOIL DISTURBING ACTIVITIES HAVE BEEN COMPLETED AND THAT DISTURBED AREAS ARE STABILIZED BY A UNIFORM PERENNIAL VEGETATIVE COVER WITH 70% OF THE EXPECTED FINAL DENSITY, AND THAT ALL PERMANENT PAVEMENTS HAVE BEEN INSTALLED. ALL TEMPORARY BMP'S SHALL BE REMOVED, DITCHES STABILIZED, AND SEDIMENT SHALL BE REMOVED FROM PERMANENT CONVEYANCES AND SEDIMENTATION BASINS IN ORDER TO RETURN THE POND/BASIN TO DESIGN CAPACITY.
12. THE WATERSHED DISTRICT OR THE CITY MAY HAVE REQUIREMENTS FOR INSPECTIONS VERIFYING PROPER CONSTRUCTION OF THE BEST MANAGEMENT PRACTICES (BMP) - THE MORE RESTRICTIVE REQUIREMENT SHALL APPLY.
13. CONTRACTOR SHALL PROVIDE ALL REQUIRED EROSION CONTROL PERMITS/FEE'S, INSPECTORS, INSPECTIONS, AND DOCUMENTATION. PLAN REPRESENTS MINIMAL EROSION CONTROL, CONTRACTOR TO PROVIDE ADDITIONAL MEANS AND METHODS FOR THE PROJECT AS NECESSARY TO MAINTAIN COMPLIANCE.
14. CONTRACTOR TO PROVIDE ALL SUBGRADE SOIL CORRECTIONS, INCLUDING REMOVAL OF SUBGRADE DEBRIS, FOR PROJECT IMPROVEMENTS SUCH AS BUILDING, PAVEMENT, UTILITY, RETAINING WALLS, AND OTHER RELATED ITEMS. AS APPLICABLE, REFER TO THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT FOR ANY ADDITIONAL SITE PREPARATION INFORMATION OR REQUIREMENTS. THIS PROJECT DOES NOT HAVE A GEOTECH REPORT.
15. IF GROUND WATER IS PRESENT IN THE EXCAVATION, OR IF THE EXPOSED SOILS ARE WET AND UNSTABLE, CONTACT THE OWNER OR ENGINEER FOR A RECOMMENDATION FROM THE GEOTECHNICAL ENGINEER.
16. CONTRACTOR SHALL INSTALL ALL EROSION CONTROL MEASURES PRIOR TO COMMENCING GRADING ACTIVITIES AND SHALL MAINTAIN SAID MEASURES FOR DURATION OF CONSTRUCTION ACTIVITIES. UPON ESTABLISHMENT OF TURF, THE CONTRACTOR SHALL REMOVE THE EROSION CONTROL MEASURES AND DISPOSE OF OFF SITE.
17. CONTRACTOR TO PREVENT DIRT AND/OR DEBRIS FROM ENTERING STORM SEWER OR BEING TRANSPORTED OFF SITE IN AN UNCONTROLLED MANNER. CONTRACTOR TO VERIFY AT PROJECT CLOSEOUT THAT STORM SEWER SYSTEM IS CLEAR OF SEDIMENT AND/OR DEBRIS AND IS FULLY FUNCTIONAL.
18. CONTRACTOR SHALL PROVIDE REQUIRED EROSION CONTROL MONITORING, PER REQUIREMENTS AND CERTIFICATION, TO INSPECT AND DOCUMENT ALL EROSION CONTROL MEASURES WEEKLY (EVERY 7 DAYS) AND AFTER EVERY 0.5 INCH RAINFALL EVENT, PER REQUIREMENTS. CONTRACTOR TO PROVIDE CORRECTIVE MEASURES IMMEDIATELY FOR ANY NON-COMPLIANCE OBSERVATIONS.
19. ALL DISTURBED NON-PAVED AREAS SHALL RECEIVE TEMPORARY PROTECTION OR PERMANENT COVER WITHIN 14 DAYS OF DISTURBANCE OPERATIONS.
20. WHEN TRAPPED SEDIMENT REACHES 1/3 OF THE HEIGHT OF SILT FENCE/BIOLOGS, IT SHALL BE REMOVED AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
21. CATCH BASIN SEDIMENT FILTER SACKS SHALL BE CLEANED WHEN SEDIMENT REACHES 1/3 THE CAPACITY OF THE SACK.
22. WHEN SEDIMENT IS TRACKED ON TO PAVED SURFACES, IT SHALL BE REMOVED WITHIN 24 HOURS OF DISCOVERY.
23. ANY SEDIMENT FROM THE CONSTRUCTION SITE THAT ACCUMULATES ON OR OFF THE OWNER'S PROPERTY SHALL BE REMOVED BY THE CONTRACTOR AT HIS/HER EXPENSE. ANY DAMAGE THAT OCCURS FROM THE ACCUMULATED SEDIMENT OR FROM THE CONTRACTOR'S REMOVAL OF THE SEDIMENT, SHALL BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE.
24. ALL EXCAVATIONS MUST COMPLY WITH THE REQUIREMENTS OF OSHA 29 CFR, PART 1926, SUBPART P, "EXCAVATIONS AND TRENCHES." THIS DOCUMENT STATES THAT EXCAVATION SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
25. THE CONTRACTOR MUST COMPLY WITH THE REQUIREMENTS OF THE PROJECT SPECIFIC STORM WATER POLLUTION PREVENTION PLAN. TEMPORARY STORMWATER IMPROVEMENTS SHALL BE PROVIDED UNTIL THE PERMANENT IMPROVEMENTS ARE ESTABLISHED. CONTRACTOR TO DESIGN AND SUBMIT ALL TEMPORARY STORMWATER ITEMS FOR ENGINEER APPROVAL.
26. CONTRACTOR TO PROVIDE ALL SURVEY CONSTRUCTION STAKING.
27. BIOLOG PERIMETER CONTROL TO BE ADJUSTED, AS NEEDED, TO ACCOMMODATE STAGING OF IMPROVEMENTS AND OR ACCESS.
28. EROSION CONTROL SURFACE IS TO PROVIDE PERMANENT SOD AT ALL DISTURBED LANDSCAPE AREAS. SOD TO BE PER WIS DOT SPECIFICATIONS, WATER AND MAINTAIN FOR 60 DAYS.
29. PLAN SHOWS SPOT ELEVATIONS FOR DESIGN INTENT AND MAY NEED TO BE FIELD ADJUSTED PER ACTUAL CONDITIONS. ELEVATION CONTOURS MAY NOT BE ILLUSTRATED.



EARTHWORK TO COVER ALL SUBGRADE CORRECTION, COMMON EXCAVATION, SUBGRADE PREPARATION, BORROW SOILS (IMPORT/EXPORT), AND TOPSOIL PER PROJECT IMPROVEMENTS (TYP.)

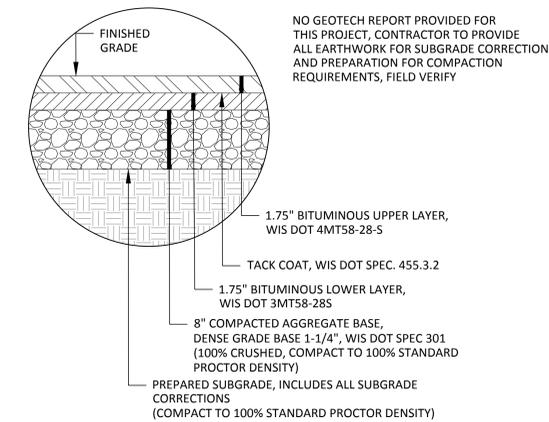


NOTES:

1. SEDIMENT CONTROL LOGS ARE TO BE A MINIMUM OF 8 LB/FT. SEE PLAN VIEW FOR LOCATION AND LENGTH OF SEDIMENT CONTROL LOGS.
2. SEDIMENT CONTROL LOGS THAT ACT AS A PERIMETER CONTROL SHALL BE INSTALLED PRIOR TO ANY UPGRADE LAND-DISTURBING ACTIVITIES.
3. SEDIMENT CONTROL LOGS PLACED ON PAVEMENT SHALL BE WEIGHTED DOWN RATHER THAN STAKED. PLACE LOGS AGAINST SIDEWALK OR BACK OF CURB WHEN ADJACENT TO THESE FEATURES.
4. SEDIMENT CONTROL LOGS FILL MATERIAL SHALL CONSIST OF EITHER STRAW, WOOD FIBER, WOOD CHIP, OR COMPOST, AND FREE OF ANY NOXIOUS WEED SEEDS OR DEFECTS INCLUDING RIPS, HOLES AND OBVIOUS WEAR. FILL MATERIAL TO BE ENCASED IN PHOTODEGRADABLE SYNTHETIC WOVEN OR NATURAL FIBER CASING WITH 1/8" TO 3/8" INCH OPENINGS, WITH A TARGET SERVICE LIFE FROM 12 TO 24 MONTHS. DIAMETER SHALL BE APPROXIMATELY 8 INCHES WITH ENDS PROPERLY SECURED.
5. SEDIMENT CONTROL LOGS MAY BE USED AS SMALL CHECK DAMS IN DITCHES AND SWALES. HOWEVER, THEY SHOULD NOT BE USED IN PERENNIAL STREAMS.
6. IT IS RECOMMENDED THAT SEDIMENT CONTROL LOGS BE TRENCHED INTO THE GROUND TO A DEPTH OF APPROXIMATELY 1/3 OF THE DIAMETER OF THE LOG. IF TRENCHING TO THIS DEPTH IS NOT FEASIBLE AND/OR DESIRABLE (SHORT TERM INSTALLATION WITH DESIRE NOT TO DAMAGE LANDSCAPE) A LESSER TRENCHING DEPTH MAY BE ACCEPTABLE WITH MORE ROBUST STAKING. COMPOST LOGS THAT ARE 8 LB/FT DO NOT NEED TO BE TRENCHED.
7. THE UPHILL SIDE OF THE SEDIMENT CONTROL LOG SHALL BE BACKFILLED WITH SOIL OR FILTER MATERIAL THAT IS FREE OF ROCKS AND DEBRIS. THE SOIL SHALL BE TIGHTLY COMPACTED INTO THE SHAPE OF A RIGHT TRIANGLE USING A SHOVEL OR WEIGHTED LAWN ROLLER OR BLOWN IN PLACE.
8. FOLLOW MANUFACTURERS' GUIDANCE FOR STAKING. IF MANUFACTURERS' INSTRUCTIONS DO NOT SPECIFY SPACING, STAKES SHALL BE PLACED ON 4' CENTERS AND EMBEDDED A MINIMUM OF 6" INTO THE GROUND. 3" OF THE STAKE SHALL PROTRUDE FROM THE TOP OF THE LOG. STAKES THAT ARE BROKEN PRIOR TO INSTALLATION SHALL BE REPLACED. COMPOST LOGS SHOULD BE STAKED 10' ON CENTER.

EROSION CONTROL - TEMPORARY BIOLOGS

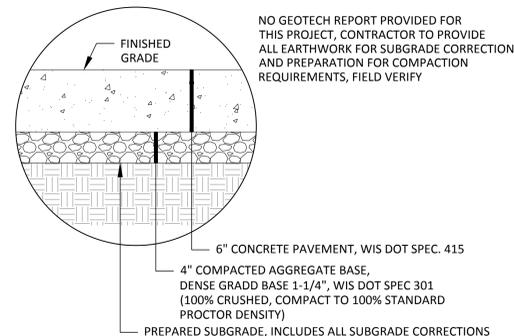
NOT TO SCALE



NOTE: FOR STREET BITUMINOUS REPLACEMENT, PATCH, AND TIE-IN AREAS, MATCH EXISTING PAVEMENT TYPE AND THICKNESS, FIELD VERIFY

BITUMINOUS PAVEMENT SECTION

NOT TO SCALE

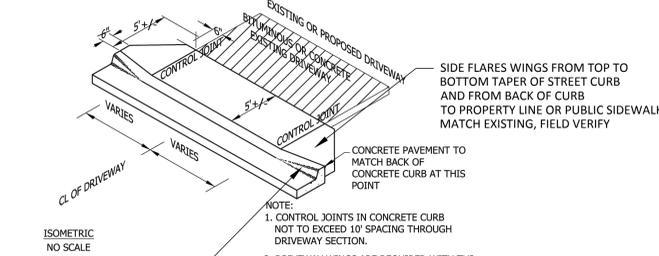
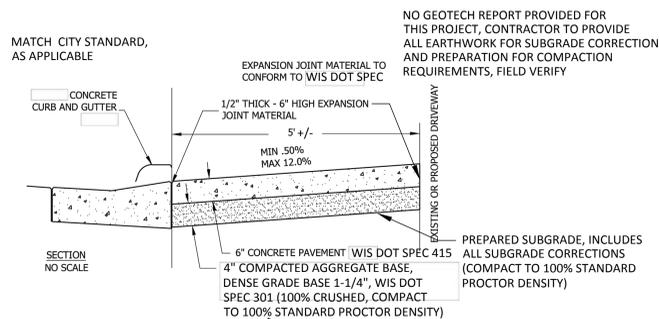


NOTES:

1. MATCH EXISTING PAVEMENT SECTION & REINFORCEMENT (IF APPLICABLE). NOTIFY ENGINEER PRIOR TO PROCEEDING IF SECTION IS DIFFERENT THAN THAT SHOWN.
2. CONCRETE SHOULD BE REINFORCED WITH FIBER MESH TO ASSIST IN CONTROLLING CRACKING FROM DRYING SHRINKING AND THERMAL CHANGES.
3. SAWED OR FORMED CONTROL JOINTS SHOULD BE INCLUDED FOR EACH 225 SQUARE FEET OF AREA OR LESS (15 FEET BY 15 FEET).
4. SAWCUTS SHOULD NOT CUT THROUGH THE REINFORCING STEEL AND DOWELS SHOULD BE UTILIZED AT FORMED AND/OR COLD JOINTS.

CONCRETE PAVEMENT SECTION

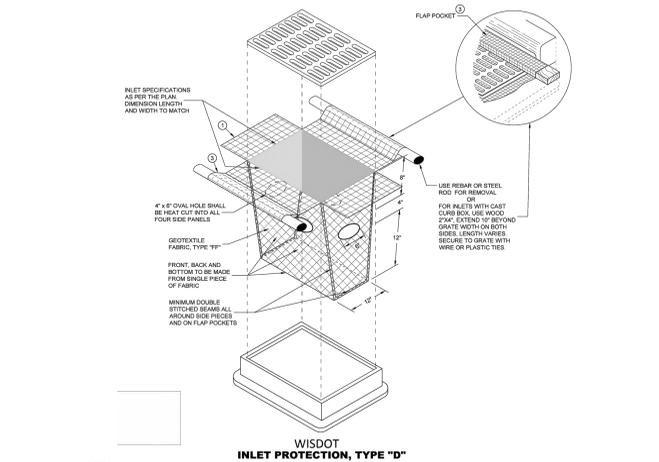
NOT TO SCALE



NOTE: 1. CONTROL JOINTS IN CONCRETE CURB NOT TO EXCEED 10' SPACING THROUGH DRIVEWAY SECTION.
2. DRIVEWAY WINGS ARE REQUIRED WITH THE STYLE CURBING. THE MAXIMUM DRIVEWAY WIDTH AT THE CURB AND THE PROPERTY LINE IS 24', PLUS THE WINGS. THE MINIMUM WIDTH OF THE DRIVEWAY AT THE CURB AND PROPERTY LINE IS 12'.

CONCRETE DRIVEWAY

NOT TO SCALE

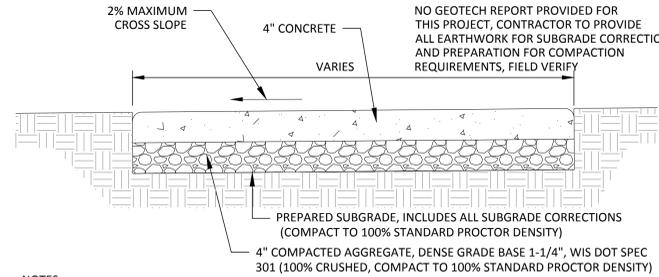


NOTES:

1. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
2. DO NOT INSTALL INLET PROTECTION TYPE-D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
3. THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES. TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

EROSION CONTROL - TEMPORARY INLET PROTECTION

NOT TO SCALE

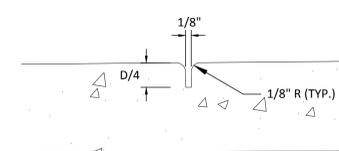


NOTES:

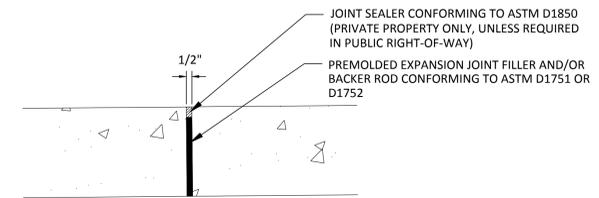
1. CONTROL JOINTS SPACED 5' MIN. AND 8' MAX TO CREATE PANELS WITH 1:1 LENGTH TO WIDTH RATIO (OR AS CLOSE AS FEASIBLE). SIDEWALK WIDTH 5' OR LESS - JOINT SPACING = 5' SIDEWALK WIDTH 5' OR MORE - JOINT SPACING 6'-8'
2. CONTROL JOINTS SHALL BE SAWED OR TOOLED TO 1/4 CONCRETE DEPTH (MIN.), WITH SAWING PREFERRED. PROVIDE CONTROL JOINTS PER MANUFACTURER'S RECOMMENDATIONS.
3. EXPANSION JOINTS SHALL BE PLACED AT BUILDING AND CONCRETE STOOP INTERFACES, TO ISOLATE UTILITIES, HANDHOLES, AND OTHER APPURTENANCES IN THE WALK.
4. EXPANSION JOINTS SHALL BE PLACED EVERY 150 L.F. (MAX) ALONG CONTINUOUS SIDEWALK.
5. PRE-FORMED EXPANSION JOINT FILLER SHALL BE INSTALLED FOR THE FULL THICKNESS OF THE SIDEWALK AND SHALL BE USED AT ALL JOINTS BETWEEN NEW SIDEWALK AND EXISTING SIDEWALK.

CONCRETE WALK

NOT TO SCALE



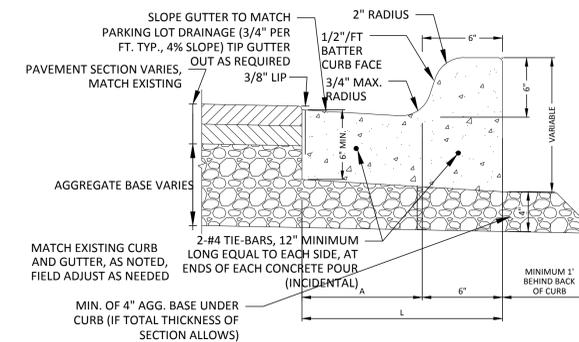
CONTROL JOINT



EXPANSION JOINT

CONCRETE JOINTS

NOT TO SCALE



WISDOT - CONCRETE CURB DIMENSIONS		
CURB TYPE	"A" GUTTER	"L" LENGTH
TYPES D	18"	24"

CONCRETE CURB AND GUTTER

NOT TO SCALE



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AUTHORITY
28902 HIGHWAY 21
TOMAH, WI 54660
608.374.3950

PROJECT

HHCDA OFFICE BUILDING - PARKING (HTA25-4)

1116 EAST MONOWAU STREET, TOMAH, WI 54660

CERTIFICATION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Wisconsin.

Signature Name:

KEVIN LOHFF

Print Name:

Date: 02-13-2026 Lic. No.: 44358-6

ISSUE RECORD

NO.	DATE	DESCRIPTION
0	02-13-2026	CONSTRUCTION PLANS

PROJECT INFO

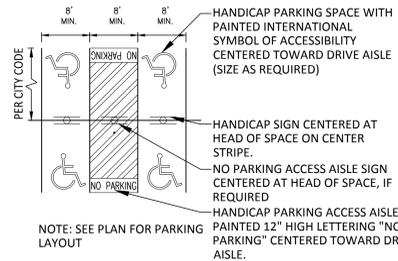
DRAWN: N.SCHAUFENBUEL/PS
DESIGNED: N.SCHAUFENBUEL/PS
CHECKED: P.SCHROEDER/K.LOHFF
PROJECT NO: 19595.00

SHEET TITLE

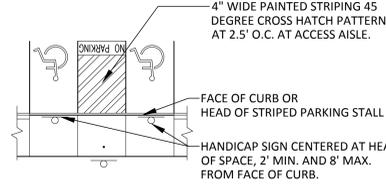
CIVIL DETAILS

SHEET

C4.0

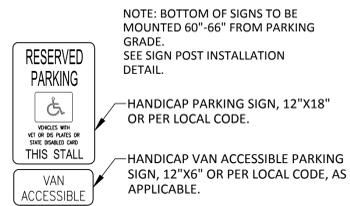


NO PARKING SIGN 12"X18" OR PER LOCAL CODE

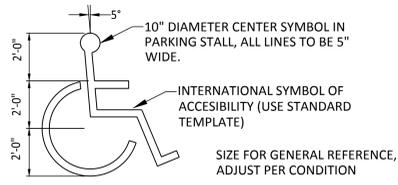


ACCESSIBLE PARKING

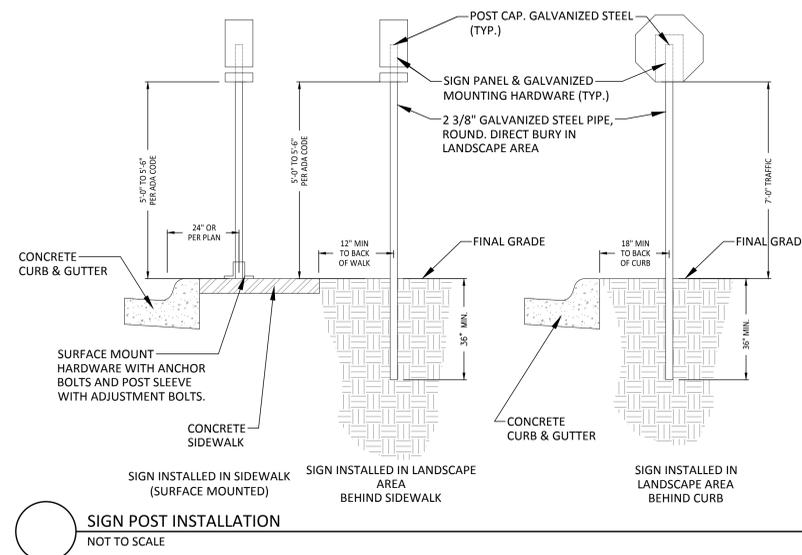
ALL ADA SIGNAGE AND STRIPING TO BE PER ADA CODE



ACCESSIBLE PARKING SIGN



SYMBOL OF ACCESSIBILITY



CERTIFICATION
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Wisconsin.

Signature Name: KEVIN LOHFF
Print Name:
Date: 02-13-2026 Lic. No.: 44358-6

ISSUE RECORD

NO.	DATE	DESCRIPTION
0	02-13-2026	CONSTRUCTION PLANS

PROJECT INFO
DRAWN: N. SCHAUFENBUEL/PS
DESIGNED: N. SCHAUFENBUEL/PS
CHECKED: P. SCHRÖDER/K. LOHFF
PROJECT NO: 19595.00

SHEET TITLE
CIVIL DETAILS

SHEET
C4.1